



**CITY OF ANGLETON, TEXAS
PUBLIC NOTICE OF A BOARD OF ADJUSTMENT MEETING
WEDNESDAY, OCTOBER 21, 2020, 12:00 P.M.
120 S. CHENANGO STREET ANGLETON, TEXAS 77515**

NOTICE IS HEREBY GIVEN PURSUANT TO V.T.C.A., GOVERNMENT CODE, CHAPTER 551, THAT THE BOARD OF ADJUSTMENT FOR THE CITY OF ANGLETON WILL CONDUCT A MEETING, OPEN TO THE PUBLIC, ON WEDNESDAY, OCTOBER 21, 2020, AT 12:00 P.M., AT THE CITY OF ANGLETON COUNCIL CHAMBERS LOCATED AT 120 S. CHENANGO STREET ANGLETON, TEXAS 77515.

In accordance with an Order of the Office of the Governor issued March 16, 2020, the City Council of the City of Angleton, Texas will conduct the meeting scheduled at Wednesday, October 21, 2020, at 12:00 P.M., at The City of Angleton Council Chambers located at 120 S. Chenango Street Angleton, Texas 77515 and will be live-streamed on Facebook live at <https://www.facebook.com/cityofangleton/> to advance the public health goal of limiting face-to-face meetings (also called “social distancing”) to slow the spread of the Coronavirus (COVID-19). The City will follow the minimum recommended health protocols as set forth by the Texas Health and Human Services.

AGENDA

DECLARATION OF A QUORUM AND CALL TO ORDER

PUBLIC HEARINGS

1. Hold a public hearing, discussion and possible action on a request from Raymundo Rodriguez for a variance to construct a carport into the required 25 ft. front yard setback on Lot 17, Block 4, Chevy Chase #3. The subject property is located on the north side of Meadow Lane approximately 75 ft. west of Downing Street, is in the Single Family Residential 7.2 (SF-7.2) zoning district and is more commonly known as 1113 Meadow Lane.
2. Hold a public hearing, discussion and possible action on a request from Frank Grissett and Bobbi Allen for a variance to construct a carport into the required 25 ft. front yard setback on Lot 26, Block 5, Northridge 2. The subject property is located on the southwest corner of the intersection of Browning Street and N. Rock Island Street, is in the Single Family Residential 7.2 (SF-7.2) zoning district and is more commonly known as 744 Browning Street.

ADJOURNMENT

CERTIFICATION

I, Walter E. Reeves Jr., AICP, Development Services Director, do hereby certify that this Notice of a Meeting was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times and to the City's website, www.angleton.tx.us, in compliance with Chapter 551, Texas Government Code. The said Notice was posted on the following date and time: Friday, October 16, 2020 by 12:00 p.m. and remained so posted continuously for at least 72 hours proceeding the scheduled time of said meeting.

/s/ Walter E. Reeves Jr., AICP

Walter E. Reeves Jr., AICP
Development Services Director

In compliance with the Americans with Disabilities Act, the City of Angleton will provide reasonable accommodations for persons attending City Council meetings. The facility is wheelchair accessible and accessible parking spaces are available. Please contact the City Secretary at 979-849-4364, extension 2115 or email faquilar@angleton.tx.us.



**CITY OF ANGLETON, TEXAS
AGENDA ITEM SUMMARY FORM**

MEETING DATE: 10/21/2020

ITEM #1

PREPARED BY: Wayne E. Neumann, AICP

AGENDA ITEM TITLE: Hold a public hearing, discussion and possible action on a request from Raymundo Rodriguez for a variance to construct a carport into the required 25 ft. front yard setback on Lot 17, Block 4, Chevy Chase #3. The subject property is located on the north side of Meadow Lane approximately 75 ft. west of Downing Street, is in the Single Family Residential 7.2 (SF-7.2) zoning district and is more commonly known as 1113 Meadow Lane.

AGENDA ITEM SECTION: (choose one below)

Ceremonial Presentation

Consent Agenda

Regular Agenda

Public Hearing

Executive Session

BUDGETED AMOUNT:

N/A

FUNDS REQUESTED:

N/A

FUND:

N/A

EXECUTIVE SUMMARY:

Raymundo Rodriguez is requesting a variance to construct a carport in the front yard setback on Lot 17, Block 4, Chevy Chase #3.

ATTACHMENTS (Attachment description):

1. Staff report by Neumann
2. Application

RECOMMENDATION:

The board of adjustment should grant this variance and recommend to the city council that an amendment to the zoning ordinance be considered that would make carports a permitted use.

To: Chris Whittaker, City Manager
City of Angleton, Texas

Date: October 11, 2020

From: Wayne E. Neumann, AICP

Subject: Rodriguez Request for a 20' Variance to the 25' Front Yard Required per the Zoning Ordinance, Section 28-45 (d) (2) a., SF-7.2, Single Family Residential District.

Applicant/Owner. Mr. Raymundo Rodriguez

Location. 1113 Meadow Lane

Background. The family has a special needs son who requires help getting in and out of the car. Shelter is especially needed during times of inclement weather.

Analysis. There is a wide spread use of carports in Angleton. On Meadow Lane on the block where this house is located it is estimated that 30% of the homes have carports. Technically, this request does not meet the criteria contained in the zoning ordinance for the granting of a variance, e.g., a unique, physical feature of the land in question, not self-imposed, not an economic hardship. Because of the widespread use of carports they should be made a permitted use. The use of carports encourages the elimination of attached garages which are then made into living space for the home. Also residents often use carports to store materials and goods which are visible to the public and may be unsightly. Also the granting of a variance to a requirement in the zoning ordinance does not negate a deed restriction requiring the same thing.

Conclusion/Recommendation: The board of adjustment should grant this variance and recommend to the city council that an amendment to the zoning ordinance be considered that would make carports a permitted use.

Chairman of the Board of Adjustment



BOARD OF ADJUSTMENT
APPLICATION FOR VARIANCE

City of Angleton
121 S. Velasco
Angleton, TX 77515
979-849-4364

Applicant: RAYMUNDO RODRIGUEZ Phone: - Cell: 979-864-5256

Address: 1113 MEADOWLANE ST.

City: ANGLETON State: TX Zip: 77515

Applicant's Status: (check one) Owner Representative Tenant

Property owner: RAYMUNDO RODRIGUEZ
~~1113 MEADOWLANE ST.~~ Phone: _____ Cell: 979-864-5256

Address: 1113 meadowlane st

City: Angleton State: TEXAS Zip: 77515

X Raymundo Rodriguez 8-31-2020 Raymundo Rodriguez 8-31-2020
Applicant Signature Date Owner Signature Date

Property Information:

This application must be accompanied by a site plan and any other documents requested, such as plot plans, photographs, topographic contour maps that are necessary to properly review the application.

Street address or location: 1113 MEADOWLANE ST.

Legal Description: CHEVY CHASE #3 (Angleton) BLK 4 LOT 17
(please provide copy of metes and bounds)

Present zoning: SF - 7.2 Present land use: SF 7.2 SINGLE FAMILY.

Is a site plan, preliminary or final plat pending on the agenda of the Planning & Zoning Commission or the City Council? Yes No

Have you applied for a building permit? Yes No Date denied: _____

Has the Board of Adjustments issued an unfavorable ruling on this property within the last six months? Yes No

If yes, when: _____

Please provide proof of taxes paid on this property.

Request Information:

Please answer the following questions as completely as possible. Failure to outline fully the situation by answering these questions could cause unnecessary delay in evaluating your appeal. Additional pages may be attached if necessary.

1. Describe the variance you are requesting: I NEED A VARIANCE FOR A CARPORT AT MY HOUSE FOR MY SPECIAL NEEDS SON TO HAVE A SAFER ACCESS TO OUR VEHICLES. THE PROBLEM IS WITH PROPERTY LINES AND LIMITED SPACE BETWEEN DRIVEWAY, ROAD AND NEIGHBOR'S PROPERTY.

2. Describe the special or unique condition(s) of your property that exist, such as restricted area, shape, topography or physical features that are peculiar to your property: THE PROBLEM WITH MY PROPERTY LINES ARE THE CLOSE PROXIMITY TO MY DRIVEWAY AND LOCATION OF WHERE THE CARPORT WOULD BE. ON MY PROPERTY. I NEED 20' OF VARIANCE. TO MEET THE ZONE ORDINANCE.

3. Do similar property conditions exist in your area? Explain: YES. MULTIPLE HOUSES WITH CARPORTS EXIST ON MY STREET BECAUSE OF THE SAME REASONS: SMALL DRIVEWAYS, CLOSE PROPERTY LINES AND PARKING AVAILABILITY.

4. Explain how your need for a variance is unique to those special property-related conditions described above:

I HAVE A HANDICAP & SPECIAL NEEDS SON THAT NEED A SAFER WAY TO GET FROM OUR VEHICLE TO THE HOUSE. PLUS, THE OTHER RESIDENCE WITH CARPORTS HAVE BEEN ERECTED FOR YEARS PRIOR TO ANY COOE CHANGES.

5. Are there special conditions affecting your property such that the strict application of the provisions of the Zoning Ordinance would deprive you of the reasonable use of your land? Explain:

NO, I ALREADY CONTACTED MY NEIGHBORS FOR AGREEMENT AND REMOVING A TREE THAT WILL IMPEDE ON PROPERLY CONSTRUCTING A CARPORT THAT EXCEEDS WINDSTORM STANDARDS. I DO NOT HAVE ROOM TO CONSTRUCT CARPORT. WITH THE CURRENT ZONE ORDINANCE.

6. Explain why the granting of the variance will not be detrimental to the public health, safety or welfare, or injurious to other property within the area:

THE CARPORT WILL BE BUILT (ENGINEERED) TO WELL BEYOND WINDSTORM STANDARDS. IT WON'T DAMAGE ANY OF MY PROPERTY OR NEIGHBORS AND WILL INCREASE PROPERTY VALUE

7. Describe how strict enforcement of the zoning ordinance creates a hardship that is unique to your property, imposing a hardship above that suffered by the general public:

THIS ZONING ORDINANCE PREVENTS ME FROM BUILDING A CARPORT THAT WILL PROTECT MY WIFE AND SPECIAL NEEDS HANDICAP SON FROM SAFELY ACCESSING OUR VEHICLES DURING INCLEMENT WEATHER.

A completed variance application is due 30 days prior to the next Board of Adjustment meeting. Board of Adjustment meetings are held at noon on the third Wednesday of each month. At this meeting, a public hearing will be held. A public hearing notice must be published in the local newspaper (at least 14 days before the meeting) and a notice must be sent to all property owners within 200' of the property where the variance is being requested (the notice must be sent at least 10 days prior to the meeting).

Acknowledgements

I certify that the above information is correct and complete to the best of my knowledge and ability and that I am now or will be fully prepared to present the above proposal at the Board of Adjustments hearing.

I understand that in the event that I am not present or represented at the public hearing, the Board shall have the power to dismiss the proposal either at the call of the case or after the hearing, and that such dismissal shall constitute denial.

I reserve the right to withdraw this proposal at any time upon written request filed with the City Secretary's office, and such withdraw shall immediately stop all proceedings. I understand the filing fee is not refundable upon withdraw of the proposal after public notice.

I understand that if the request is approved, I must obtain a building permit from the City before any work is started on the property and that the Board of Adjustment action does not constitute the approval of the building permit.

Applicant's Initials: K.R.R. Date: 8-31-2020.

Office use only	
Date received: _____	Received by: _____
Fee of \$150.00 received: _____	
Proof of taxes paid: _____	date verified: _____
Appointment of agent form attached if required: _____	
BOA Public Hearing date: _____	
Date to send letters to residents: _____	
Letters Mailed: _____	
Date to publish: _____	Date published: _____

379-843-5865

**** REPRINT RECEIPT****

REC#: 02027598 8/31/2020 9:59 AM
OPER: 4G TERM: 105
REF#: CHECK 121

TRAN: 400.2000 PEDDLERS PERMITS
ZONING/VARIANCE/PLA 150.00CR

TENDERED: 150.00 CHECK
APPLIED: 150.00-

CHANGE: 0.00

Brazoria CAD

Property Search > 196712 RODRIGUEZ RAYMUNDO & ANDREA B Tax Year: 2020
for Year 2020

Property

Account

Property ID: 196712 Legal Description: CHEVY CHASE #3 (ANGLETON) BLK 4 LOT 17
Geographic ID: 2672-0300-000 Zoning: 12/07/17 CH
Type: Real Agent Code:
Property Use Code:
Property Use Description:

Location

Address: 1113 MEADOWLANE ST Mapsco: SAN57
ANGLETON, TX
Neighborhood: CHEVY CHASE 1,2,3 Map ID:
Neighborhood CD: CHEVY

Owner

Name: RODRIGUEZ RAYMUNDO & ANDREA B Owner ID: 252333
Mailing Address: 1113 MEADOWLANE ST % Ownership: 100.0000000000%
ANGLETON, TX 77515-3511
Exemptions: HS

Values

(+) Improvement Homesite Value:	+	\$100,370	
(+) Improvement Non-Homesite Value:	+	\$0	
(+) Land Homesite Value:	+	\$16,100	
(+) Land Non-Homesite Value:	+	\$0	Ag / Timber Use Value
(+) Agricultural Market Valuation:	+	\$0	\$0
(+) Timber Market Valuation:	+	\$0	\$0
<hr/>			
(=) Market Value:	=	\$116,470	
(-) Ag or Timber Use Value Reduction:	-	\$0	
<hr/>			
(=) Appraised Value:	=	\$116,470	
(-) HS Cap:	-	\$0	
<hr/>			
(=) Assessed Value:	=	\$116,470	

Taxing Jurisdiction

Owner: RODRIGUEZ RAYMUNDO & ANDREA B
% Ownership: 100.0000000000%
Total Value: \$116,470

Entity	Description	Tax Rate	Appraised Value	Taxable Value	Estimated Tax
CAD	BRAZORIA COUNTY APPRAISAL DISTRICT	0.000000	\$116,470	\$116,470	\$0.00
CAN	CITY OF ANGLETON	0.697580	\$116,470	\$111,470	\$777.59
DR1	ANGLETON DRAINAGE DISTRICT	0.130352	\$116,470	\$93,176	\$121.46
GBC	BRAZORIA COUNTY	0.365233	\$116,470	\$93,176	\$340.30
HAD	ANGLETON-DANBURY HOSPITAL DISTRICT	0.242259	\$116,470	\$93,176	\$225.72
NAV	PORT FREEPORT	0.040100	\$116,470	\$93,176	\$37.36

RDB	ROAD & BRIDGE FUND	0.050000	\$116,470	\$90,176	\$45.09
SAN	ANGLETON INDEPENDENT SCHOOL DISTRICT	1.385200	\$116,470	\$91,470	\$1,267.04
Total Tax Rate:		2.910724			
				Taxes w/Current Exemptions:	\$2,814.56
				Taxes w/o Exemptions:	\$3,390.12

Improvement / Building

Improvement #1: Residential State Code: A1 Living Area: 1194.0 sqft Value: \$100,370

Type	Description	Class CD	Exterior Wall	Year Built	SQFT
MA	MAIN AREA	4-	R1	1955	1073.0
OFP	OPEN PORCH	4-		1955	20.0
BG	BRICK GARAGE	4-		1955	252.0
MA	MAIN AREA	4-		2008	112.0
MA	MAIN AREA	4-		2008	9.0
MP	CONCRETE PATIO	4-		2008	196.0

Land

#	Type	Description	Acres	Sqft	Eff Front	Eff Depth	Market Value	Prod. Value
1	S1	PRIMARY SITE	0.1848	8052.00	0.00	0.00	\$16,100	\$0

Roll Value History

Year	Improvements	Land Market	Ag Valuation	Appraised	HS Cap	Assessed
2021	N/A	N/A	N/A	N/A	N/A	N/A
2020	\$100,370	\$16,100	0	116,470	\$0	\$116,470
2019	\$98,150	\$16,100	0	114,250	\$0	\$114,250
2018	\$98,150	\$16,100	0	114,250	\$0	\$114,250
2017	\$103,210	\$16,100	0	119,310	\$8,229	\$111,081
2016	\$88,460	\$16,100	0	104,560	\$3,577	\$100,983
2015	\$78,470	\$16,100	0	94,570	\$2,767	\$91,803
2014	\$68,390	\$16,100	0	84,490	\$1,033	\$83,457
2013	\$59,770	\$16,100	0	75,870	\$0	\$75,870
2012	\$59,770	\$16,100	0	75,870	\$0	\$75,870
2011	\$65,100	\$16,100	0	81,200	\$0	\$81,200
2010	\$67,960	\$16,100	0	84,060	\$0	\$84,060
2009	\$68,270	\$16,100	0	84,370	\$0	\$84,370
2008	\$67,510	\$16,100	0	83,610	\$0	\$83,610
2007	\$69,550	\$16,100	0	85,650	\$3,337	\$82,313

Deed History - (Last 3 Deed Transactions)

#	Deed Date	Type	Description	Grantor	Grantee	Volume	Page	Deed Number
1	12/11/1995	WD	WARRANTY DEED	JONES JIM LEE ETUX	RODRIGUEZ RAYMUNDO & ANDREA B	95	041574	0

Tax Due

Property Tax Information as of 08/31/2020

Amount Due if Paid on:

Year	Taxing Jurisdiction	Taxable Value	Base Tax	Base Taxes Paid	Base Tax Due	Discount / Penalty & Interest	Attorney Fees	Amount Due
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NOTE: Penalty & Interest accrues every month on the unpaid tax and is added to the balance. Attorney fees may also increase your tax liability if not paid by July 1. If you plan to submit payment on a future date, make sure you enter the date and RECALCULATE to obtain the correct total amount due.

Questions Please Call (979) 849-7792

Website version: 1.2.2.31

Database last updated on: 8/30/2020 8:42 PM

© N. Harris Computer Corporation

Deaf Blind with Multiple Disabilities (DBMD)

Individual Program Plan

Program Provider's Name Volunteers of America Texas

I. General Information

Individual: Raymundo Rodriguez Jr. Date of Enrollment: 07/15/2005
 Program: DBMD Waiver Date of Team Meeting: 07/18/2016
 Date of Birth: 03/17/1986 Social Security No.: 450-77-2936
 Individual Plan of Care (IPC) Effective Period: 08/01/2016 to 07/31/2017
 Medicaid Number: 508503351 Medicare Number (if applicable): _____
 Employment Status: Employed Unemployed Retired
 Education Level: Less than high school (HS) HS diploma or equivalence Some College College degree
 Masters or higher Other: _____

II. Service Planning Team (SPT) Members Present

Individual: Raymundo Rodriguez Jr. Case Manager: Ola Olowoyo
 Legally Authorized Representative (LAR): Andrea and Raymundo Rodriguez Sr.
 Program Director: Beanca Williams Service Provider: _____
 Nurse: Marcia Polk, RN
 Other: _____ Other: _____

III. Individual's Profile

Raymundo Rodriguez Jr.'s One Page Profile	Insert Photo Here (Optional)
<p>A little about myself: Raymundo is a 30 year old Hispanic male who lives with his parents. He is ambulatory without assistance and able to communicate using sign language gestures and a picture book which he and his family created. He is Legally blind, Astigmatism of both eyes, Congenital CMV, hearing impairment, suffers from seizure disorder Asthma; he wears glasses and hearing aids in both ears. Raymundo enjoys sports, especially basket ball, swimming, writing, reading and math. He also enjoys art, which includes ceramics, drawing and painting. Raymundo likes spending time in the community; he especially enjoys shopping, eating out and going to the library. His family is very important and his brother and sister continue to be a part of his daily life. Raymundo is a perfectionist and likes things perfect he also does not like things in his environment moved around without his notification. He prides himself on his routine and seldom likes changes and does not like to be rushed.</p> <p>What people like and admire about me: Raymundo likes to complete activities on his own although he requires assistance. He has a very trusting and caring nature and is not afraid to try different things as long as there is standby assistance. Raymundo possess a very photogenic memory and can recall moments in past that had both a negative and positive impact on him.</p> <p>What's important to me: It is important to Raymundo that he attends church every Sunday and then goes to brunch. It is also very important to Raymundo that his older brother and sister along with their spouses and children be a part of his daily life. He has an especially close bond with his sister Cecilia. Cecilia and her husband are an important part of Raymundo's life. She has two beautiful daughters that Raymundo loves to be with and helps watch when they are out in the community or at his home. His older brother Reynaldo has three children that also interact with Raymundo, this is a very exciting part of his life.</p> <p>What others need to know and do to support me: Raymundo's family is very close to him, they support him in any way that they can. Raymundo is a perfectionist and has to be redirected when things do not go his way. He requires a lot of supervision when he come to safety as he likes trying new things he cannot tell the different of what is harmful to him, and also requires prompts to complete some things. He does not like changes so his family has to prepare him when changes are going to occur in his everyday life. He requires constant supervision in unfamiliar environments. He is non-verbal and ambulates independently. Raymundo is independent performing some daily living activities with supervision, as he is very slow with completing tasks. His family feels because of his trusting nature he needs someone with him at all times while in the community. Raymundo also does not know he can get hit by car while on the street, that is why he cannot be left alone at anytime out of his home.</p>	

What the people are like that support me:

Staff must have patience, be caring and encourage Raymundo when things don't go as planned. Staff must also provide help in nail clipping, cooking and serving food. All family members are currently working on increasing their sign language skills in an effort to increase communication options for Raymundo; which will help to maintain and improve Raymundo's sign language skills. The staff that works with Raymundo continues to learn to use sign language with the assistance of the family. Staff along with client's family continues to add objects of people, places and things in a picture binder that will help to assist in communication. Both Raymundo and staff continues to work together in adding new things to further assist with communication.

How I like to spend my day:

Raymundo gets up in the morning and prepares for his day. He is monitored by staff and receives assistance where needed. Raymundo takes his time to make sure everything is done correctly. With the assistance of staff, Raymundo prepares breakfast and lunch and cleans up after each meal. The time it takes to complete this task very each day depending on the meal to be prepared and how slow Raymundo may be working that day. He goes to his church on certain days to volunteer with cleaning (sweeping and vacuuming) and organizing books. He enjoys volunteering each week. Raymundo also likes to spend time in the library exploring and reading new books. Raymundo spends at least an hour an half to two hours working with his computer or IPAD. This time is also used to research new ideas for things he can recreate which gives him the opportunity to go to the arts and crafts supply store to select items needed to recreate which ever project he has selected. This helps to expand his leisure activities. Raymundo also works on his communication book adding new pictures as he communicates with staff. Raymundo will start going to Fort Bend Center for Independent Living with the assistance of staff to work on his computer and socialization skills. Raymundo parents feels he has lost some skills since graduating high school and want him to learn some more educational tasks so he can grow and become more independent.

The services I am currently receiving are:

Currently Raymundo receives Case Management, Residential-Habilitation, Nursing and Dental services.

IV. Important People in the Individual's Life People in Raymundo Rodriguez Jr. 's Life

List the people who are close to the individual and who know and care about the individual. It will give you an idea of who you might want to talk to later. Include contact information.

Family		Friends		School/Work/Other		Community/Other	
Name:	Andrea Rodriguez	Name:		Name:		Name:	
Relationship:	Mother	Relationship:		Relationship:		Relationship:	
Telephone No.:	(979) 849-9928	Telephone No.:		Telephone No.:		Telephone No.:	
Address:	1113 Meadowlane	Address:		Address:		Address:	
City, State, ZIP:	Angleton, TX 77515	City, State, ZIP:		City, State, ZIP:		City, State, ZIP:	
Email:		Email:		Email:		Email:	
Important because:	She is his mother	Important because:		Important because:		Important because:	

V. Financial Resources

Source(s) of Income: Social Security	Monthly Amount: \$733
<input type="checkbox"/> Trust Fund: \$	Other Financial Resources: \$
Room and Board (Assisted Living Facility (ALF) Only): \$ <input checked="" type="checkbox"/> N/A	Representative Payee: Andrea Rodriguez <input type="checkbox"/> N/A
Additional Information:	

Describe the individual's money management skills:

Raymundo does not quite understand the value of money and he is incapable of making large cash transactions. He can count however he does not possess a basic conceptual understanding of denominations. Raymundo's family provides him with functional assistance so that he may buy things that he wants and needs. He always keeps a few dollars in his wallet for miscellaneous spending. He is able to purchase items however; he does not know how to make change. When performing purchases he has assistance of staff and family. The family would like for him to continue to learn to count change.

VI. Emergency Contact(s)

Name: Andrea Rodriguez	Relationship to the Individual: Mother
Address: 1113 Meadowlane Angleton, TX 77515	
Area Code and Telephone: (979) 849-9928	Alternate Area Code and Telephone: (979) 997-1593
Email Address: andrear6430@yahoo.com	
Name: Raymundo Rodriguez Sr.	Relationship to the Individual: Father
Address: 1113 Meadowlane Angleton, TX 77515	
Area Code and Telephone: (979) 849-9928	Alternate Area Code and Telephone: (979) 864-5256
Email Address:	

VII. Diagnoses

Diagnoses	Diagnostic Codes	Source	Date of Onset
• Legally Blind as define in USA	H54.8	ICD10	03/1986
• Unspecified hearing loss, unspecified ear	H91.90	ICD 10	03/1986
• Epilepsy, unspecified, not intractable with status epilepticus	G40.901	ICD 10	03/1989
•			
•			

VIII. Legal Status

- Adult LAR Name of LAR: Andrea & Raymundo Rodriguez Sr.
- Adult with no LAR
- Other (specify): _____

A current copy of guardianship papers are on file: Yes No

If No, explain:

IX. Freedom of Choice

The **Freedom of Choice** form was reviewed and signed by the individual/LAR.

The alternatives to the DBMD Waiver were discussed to include:

- Institutionalization in an Intermediate Care Facility for individuals with an Intellectual Disability or Related Conditions (ICF/IID), Nursing Home or State Supported Living Center (formerly State School);
- Other available Medicaid Waiver Programs [Home and Community-based Services (HCS), Community Based Alternatives (CBA), Community Living Assistance and Support Services (CLASS), Medically Dependent Children Program (MDCP)];
- A Documentation of Provider Choice form was provided to the individual/LAR. The individual/LAR requests DBMD services through

X. Consumer Directed Services (CDS)

The CDS option was discussed and the individual/LAR:

- chose the provider agency option.
- chose the CDS option.

Additional information (include a list of the CDS forms provided to the individual/LAR):

1581- CDS Option Review, 1582- CDS Responsibilities

TAX RECEIPT



RO'VIN GARRETT, PCC
 BRAZORIA COUNTY TAX ASSESSOR - COLLECTOR
 111 E. LOCUST
 ANGLETON, TEXAS 77515

Certified Owner:
RODRIGUEZ RAYMUNDO & ANDREA B
 1113 MEADOWLANE ST
 ANGLETON, TX 77515-3511

Legal Description:
 CHEVY CHASE #3 (ANGLETON) BLK 4 LOT 17

Parcel Address: 1113 MEADOWLANE ST
Legal Acres: 0.1848

Remit Seq No: 42382633,42382634
Receipt Date: 12/26/2019
Deposit Date: 12/26/2019
Print Date: 12/23/2019 11:33 AM
Printed By: LCASTRO

Deposit No: 1936005C
Validation No: 900000056974448
Account No: **2672-0300-000**
Operator Code: LCASTRO

Year	Tax Unit Name	Rec Type	Tax Value	Tax Rate	Levy Paid	P&I	Coll Fee Paid	Total
2019	Brazoria County	TL	91,400	0.365233	333.82	0.00	0.00	333.82
2019	Special Road & Bridge	TL	88,400	0.050000	44.20	0.00	0.00	44.20
2019	Angleton Isd	TL	89,250	1.385200	1,236.29	0.00	0.00	1,236.29
2019	Angleton - Danbury Hospital	TL	91,400	0.242259	221.42	0.00	0.00	221.42
2019	Port Freeport	TL	91,400	0.040100	36.65	0.00	0.00	36.65
2019	Angleton Drainage Dist. No 1	TL	91,400	0.130352	119.14	0.00	0.00	119.14
2019	City Of Angleton	TL	114,250	0.697580	796.99	0.00	0.00	796.99
					\$2,788.51	\$0.00	\$0.00	\$2,788.51

> - - - - - <

Check Number(s):
 1175

PAYMENT TYPE:
 Checks: \$1,000.00
 Cash: \$1,788.51

Exemptions on this property:
 HOMESTEAD

Total Applied: \$2,788.51
Total Tendered: \$2,788.51
 (for accounts paid on 12/26/2019)
Change Paid: \$0.00

ACCOUNT PAID IN FULL

PAYER:
RODRIGUEZ RAYMUNDO & ANDREA B
 1113 MEADOWLANE ST
 ANGLETON, TX 77515-3511

(979) 864-1320, (979) 388-1320, (281) 756-1320

2019 TAX STATEMENT

(979) 388-1320
 (979) 864-1320
 (281) 756-1320



Ro'Vin Garrett, PCC
 BRAZORIA COUNTY TAX ASSESSOR-COLLECTOR
 111 E. LOCUST
 ANGLETON, TEXAS 77515

Mailing Address

002221750028025 T-0064 P-0150 H-0001
 RODRIGUEZ RAYMUNDO & ANDREA B
 1113 MEADOWLANE ST
 ANGLETON, TX 77515-3511

Legal Description:

CHEVY CHASE #3 (ANGLETON) BLK 4 LOT 17



Legal Acres: .1848

Parcel Address: 1113 MEADOWLANE ST

As of Date: 10/11/2019

Account No: 2672-0300-000

Print Date: 10/16/19

Market Value	Appraised Value	Assessed Value	Exemptions	Capped Value	Homesite Value	Agricultural Market Value	Non-Qualifying Value
\$16,100	\$114,250	\$114,250			\$114,250		
Taxing Unit							
Assessed Value (100%)			Code	Taxable Value		Tax Rate	2019 Tax
BRAZORIA COUNTY	\$114,250	HOM	\$22,850	\$91,400	.36523300	\$333.82	
SPECIAL ROAD & BRIDGE	\$114,250	HOM	\$25,850	\$88,400	.05000000	\$44.20	
ANGLETON ISD	\$114,250	HOM	\$25,000	\$89,250	1.38520000	\$1,236.29	
ANGLETON - DANBURY HOSPITAL	\$114,250	HOM	\$22,850	\$91,400	.24225900	\$221.42	
PORT FREEPORT	\$114,250	HOM	\$22,850	\$91,400	.04010000	\$36.65	
ANGLETON DRAINAGE DIST. NO 1	\$114,250	HOM	\$22,850	\$91,400	.13035200	\$119.14	
CITY OF ANGLETON	\$114,250	HOM	\$0	\$114,250	.69758000	\$796.99	

Amount saved by additional sales tax revenue \$99.64

Exemptions:

HOM HOMESTEAD

TOTAL TAX: \$2,788.51
TOTAL TAX PAID TO DATE: \$.00
TOTAL TAX REMAINING: \$2,788.51

AMOUNT DUE IF PAID BY END OF:

OCTOBER 2019	\$2,788.51	NOVEMBER 2019	DECEMBER 2019	JANUARY 2020	FEBRUARY 2020	MARCH 2020
		\$2,788.51	\$2,788.51	\$2,788.51	\$2,983.71	\$3,039.48

PLEASE PUT YOUR ACCOUNT NUMBER ON ALL CORRESPONDENCE

TAXES ARE DUE UPON RECEIPT. TAXES WILL BECOME DELINQUENT FEB. 1, 2020. PENALTY AND INTEREST WILL BE ADDED MONTHLY BEGINNING FEB. 1, 2020.
 CERTAIN PERSONAL PROPERTY TAXES REMAINING DELINQUENT ON APRIL 1, 2020, MAY INCUR AN ADDITIONAL COLLECTION FEE OF UP TO 20 %
 FEBRUARY -- 7% MARCH -- 9% APRIL -- 11% MAY -- 13% JUNE -- 15% JULY -- 18% + UP TO 20% ATTORNEY FEE

**TO PAY BY CREDIT CARD VISIT <http://brazoriacountytx.gov/departments/tax-office/property-taxes> OR
 SCAN QR CODE BELOW OR DIAL 1-866-549-1010 - BUREAU CODE 5820032**

(THERE WILL BE A SERVICE FEE CHARGED FOR USING YOUR CREDIT CARD)



LETTERS OF GUARDIANSHIP

THE STATE OF TEXAS

IN COUNTY COURT AT LAW #1

COUNTY OF BRAZORIA

& PROBATE COURT OF

BRAZORIA COUNTY, TEXAS

Cause No. GN28725

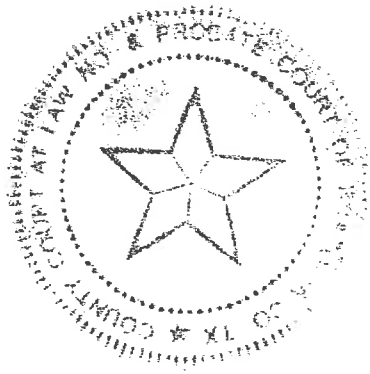
I, Joyce Hudman, Clerk of the County Court of Brazoria County, Texas, do hereby certify that on the 4th day of May, 2006, Raymundo Rodriguez and Andrea Rodriguez, were duly appointed by said Court, Co-Guardians of the Person of Raymundo Rodriguez, Jr. an Incapacitated Person, and that they qualified as such on the 4th day of May, 2006, as the law requires, and that said appointment is still in full force and effect with the powers as stated in the order now on file in this office.

This letter expires one (1) year and four (4) months from the 4th day of May, 2020.

Given under my hand and the seal of said Court at Angleton, Texas the 30th day of July, 2020.

JOYCE HUDMAN, COUNTY CLERK
BRAZORIA COUNTY, TEXAS.

By: Jordan Jordaz, Deputy
JOrdaz







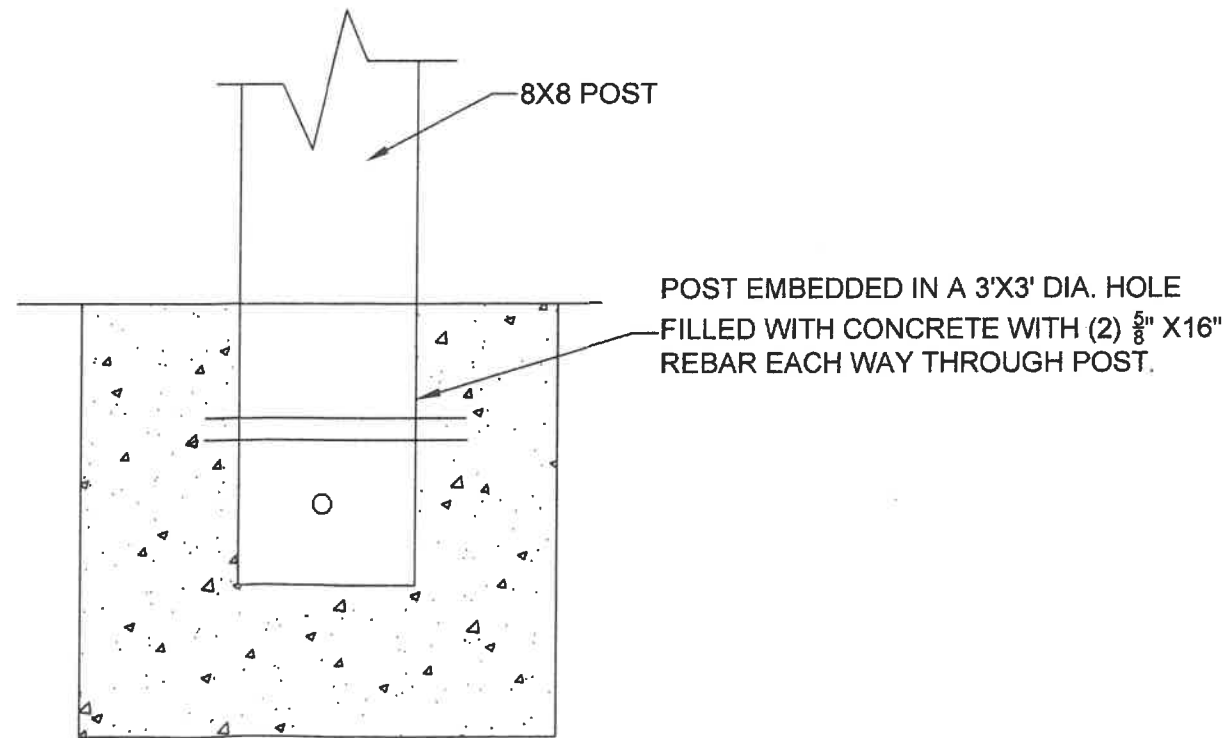
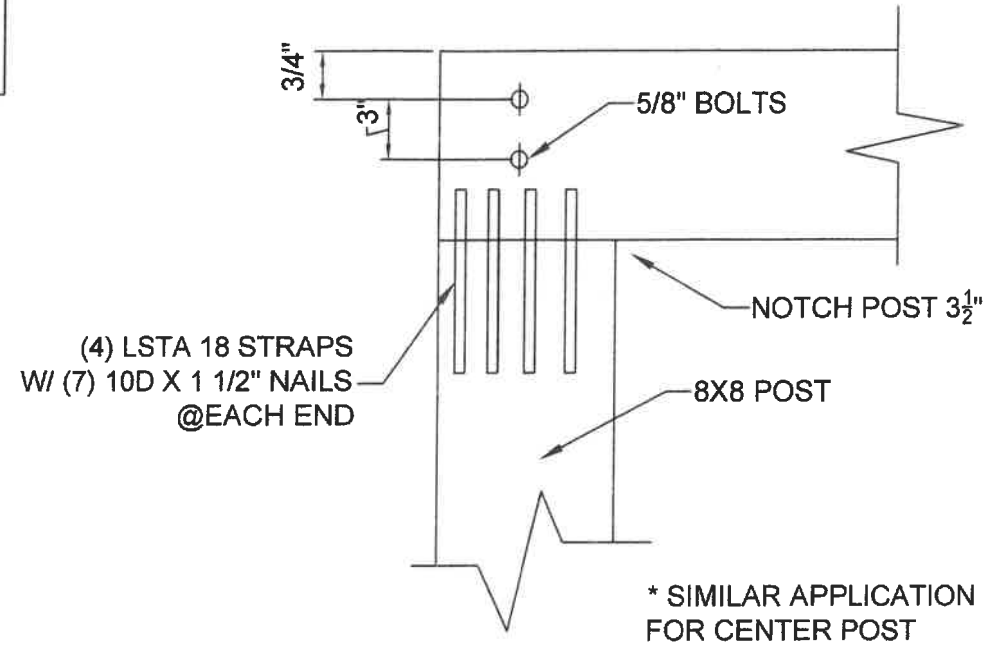
NOTES:
 CHANGES TO PLAN WILL
 RESULT IN FEES FOR
 ADDITIONAL DESIGN REVIEW.
 CHANGES INCLUDE BUT ARE
 NOT LIMITED TO INCREASE OR
 DECREASE OF SQUARE
 FOOTAGE, RELOCATION OF
 WINDOWS OR DOORS,
 CHANGING SIZE OF DOOR OR
 WINDOW OPENINGS, CHANGE
 OF ROOF PITCH OR ROOF
 SHAPE AND CHANGES OF WALL
 HEIGHT.

METAL ROOF OPTIONS

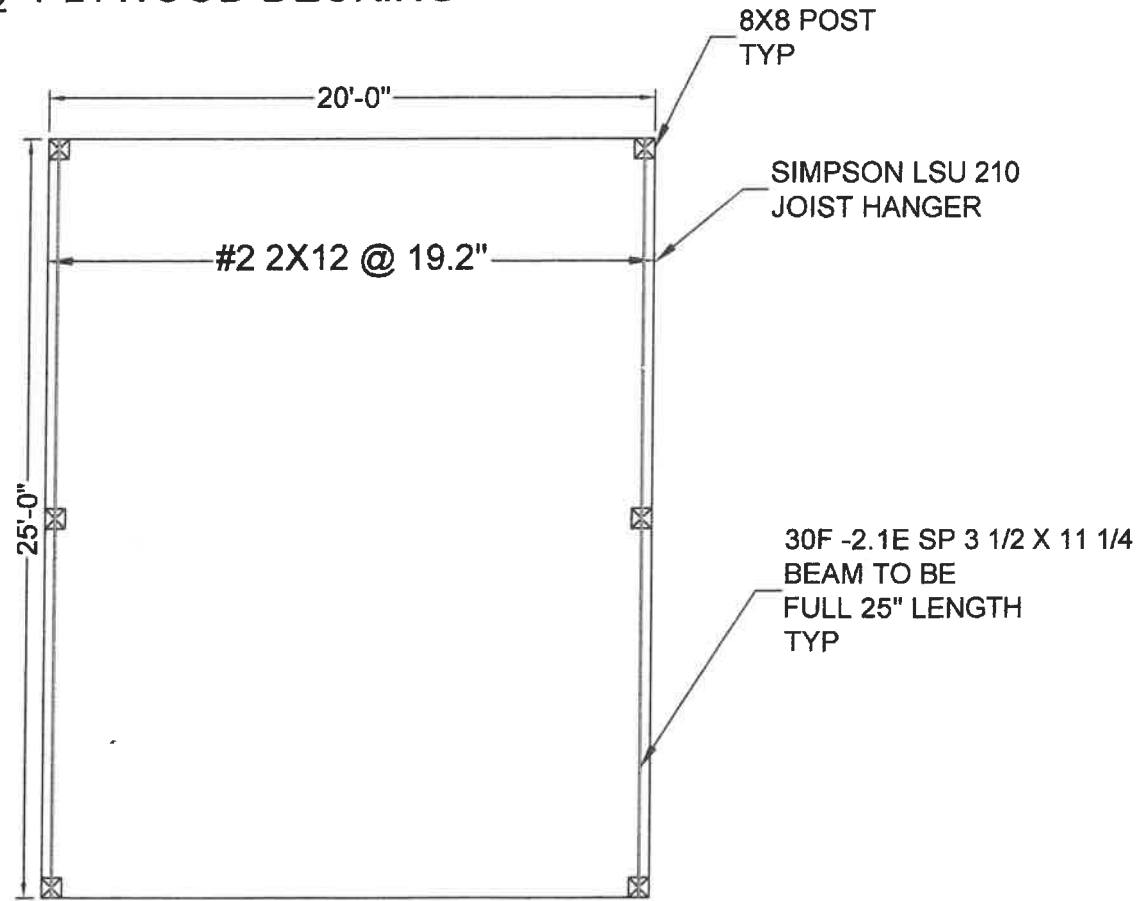
- WHIRLWIND LOW RIB
- WHEELING CHANNEL DRAIN
- MULLER RPN- PANEL
- METAL SALES R PANEL

PLAN CHANGES

1. ALL FASTENERS TO BE
 CORROSION RESISTANT PER
 TEXAS REVISIONS.



* 15/32" PLYWOOD DECKING



Note: THIS PLAN SHALL BE ATTACHED TO ALL (4) SHEETS OF WINDSTORM STANDARD

1113 MEADOW LANE
 ANGLETON, TEXAS

CEDNA
 ENGINEERING

209 East Henderson Road
 Angleton, Texas 77515
 979-864-3442
 Texas Registration # F-10683

Exposure: C

Wind Speed: 120 MPH

Date: 11-14-15

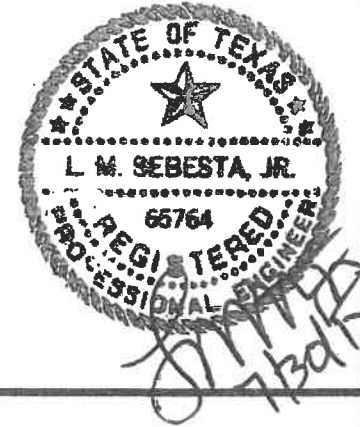
Design By:

Scale: NTS

Sheet No.
 1 of 1

Drawn By: TJS





CEDNA ENGINEERING

209 East Henderson Road
Angleton, Texas 77515
979-864-3442
Texas Registration # F-10683

WINDSTORM STANDARD

2x6's		130 MPH	130 MPH	120 MPH	120 MPH
SPACING	ROOF SLOPE	EXP B**	EXP C**	EXP B**	EXP C**
SYP#2, 16" O.C.	3:12	10'-10"	8'-7"	11'-11"	9'-6"
SYP#2, 16" O.C.	4:12	10'-6"	8'-4"	11'-6"	9'-4"
SYP#2, 16" O.C.	5:12	10'-2"	8'-1"	11'-1"	8'-10"
SYP#2, 16" O.C.	6:12	9'-7"	7'-8"	10'-5"	8'-4"
SYP#2, 16" O.C.	7:12	12'-0"	9'-7"	13'-1"	10'-6"
SYP#2, 16" O.C.	8:12	11'-3"	9'-0"	12'-4"	9'-10"
SYP#2, 16" O.C.	9:12	10'-7"	8'-6"	11'-8"	9'-4"
SYP#2, 16" O.C.	10:12	9'-11"	7'-11"	10'-10"	8'-8"
SYP#2, 16" O.C.	11:12	9'-3"	7'-4"	10'-2"	8'-1"
SYP#2, 16" O.C.	12:12	8'-8"	6'-11"	9'-6"	7'-7"

2x6's		110 MPH	110 MPH	120 MPH	120 MPH
SPACING	ROOF SLOPE	EXP B**	EXP C**	EXP B**	EXP C**
SYP#3, 24" O.C.	3:12	7'-2"	5'-7"	7'-5"	5'-11"
SYP#3, 24" O.C.	4:12	8'-2"	5'-10"	7'-3"	5'-9"
SYP#3, 24" O.C.	5:12	8'-0"	5'-7"	6'-11"	5'-6"
SYP#3, 24" O.C.	6:12	7'-6"	5'-8"	6'-6"	5'-2"
SYP#3, 24" O.C.	7:12	8'-4"	6'-8"	8'-2"	6'-6"
SYP#3, 24" O.C.	8:12	8'-4"	6'-8"	7'-8"	6'-3"
SYP#3, 24" O.C.	9:12	8'-0"	6'-3"	7'-3"	5'-9"
SYP#3, 24" O.C.	10:12	7'-5"	5'-11"	6'-9"	5'-4"
SYP#3, 24" O.C.	11:12	7'-0"	6'-3"	6'-4"	5'-0"
SYP#3, 24" O.C.	12:12	6'-6"	5'-2"	5'-11"	4'-8"

Rise/Run	Slope
1/12	5°
2/12	10°
3/12	14°
4/12	18°
5/12	23°
6/12	27°
7/12	30°
8/12	34°
9/12	37°
10/12	40°
11/12	42°
12/12	45°

8d common	2 1/2" x .131
10d box	3" x .128
10d common	3" x .148
12d box	3 1/2" x .128
16d common	3 1/2" x .162
16d box	3 1/2" x .135
8dx 1 1/2"	1 1/2" x .131
10dx 1 1/2"	1 1/2" x .148

Method	Max. Span between Supports	Fasteners	Penetration into Framing	Brick Application	Other Application
#1. IRC 1.	8'	#6 screws 9" o.c.	1 1/4"	Yes 2	Yes
#2. SHU-89	6'	#8 screws/washer 11" o.c.	1 3/4"	No	Yes
#3. SHU-89	6'	1/4" lag screws/washers 14" o.c.	1 3/4"	Yes 2	No
#4. SHU-122 (Plylox)	4'	6" from corner 12" o.c.	NA	Yes	No

1. 2006 Texas Revisions of Section R301.2.1 of the International Residential Code.
 2. Direct application to brick veneer only is prohibited. Fasteners must penetrate into wall stud framing.
 3. Based on a mean roof height of 33'.
 4. Refer to referenced documents for detailed installation instructions.
 5. Other proprietary products exist for windborne debris protection. See <http://www.tdi.state.tx.us/wind> for more.
 6. Plywood shutter systems may not work for seaward locations. Alternate protection devices may be required.

Connector	Simpson
Rafter to Top Plate	H8
Joist overhanging Wall	H8
Double Top Plate to Stud	H8
Stud to Bottom Plate	SSP
Header to Trimmer Stud	LSTA12
Trimmer Stud to Bottom Plate	SSP
Header to Top Plate	LSTA12
Straps over Ridge	LSTA12
Porch Post to Beam	(4) LSTA12
Beam to Wall Framing	(2) LSTA12
Porch Post to Foundation	HTT5
Two Story Floor to Floor	LSTA (600lbs Cap.)

First Floor to Foundation	
Simpson	Holdown Capacity
HTT5	4,555
STHD14	5,345
HTT5KT	5,445
HDQ11 (MIN OF 4 STUDS)	8,500
HDQ8	9,230

Second Floor to Foundation	
Simpson	Holdown Capacity
MSTC40	4,700 (10dx1 1/2")
MSTC66	5,800 (10dx1 1/2")

Joint Description	Number of Nails	Nail Spacing
Rafter to Top Plate (Toe Nailed)	(3) 10d Box	Per Rafter
Rafter to Ridge Board (Toe Nailed)	(3) 10d Box	Per Rafter
Collar Tie to Rafter	(4) 10d Box	Per Rafter
Ceiling Joist to Top Plate (Toe Nailed)	(3) 10d Box	Per Joist
Ceiling Joist to Rafter (Face Nailed)	(3) 16d Common	Each Lap
Ceiling Joist Laps Over Partitions (Face Nailed)	(3) 8d Common	Each Lap
Strongback to Ceiling Joist	(2) 16d Common	Each Joist
Rafter Splices	(21) 16d Common	Each Lap
Rafter Brace to Rafter (Face Nailed)	(4) 16d Common	Each Rafter
Double Studs for Holdowns (Face Nailed)	2 Rows 16d Common	6" o.c.
Block to Strongback (Face Nailed)	(4) 16d Common	Per Block
Strongback to Gable Stud	(4) 16d Common	Per Stud
Double top Plate (Face Nailed)	(1) 16d Common	12" o.c.
Floor Sheathing to Blocking/Rim Board	(1) 16d Common	4" o.c.
Blocking/Rim Board to Top Plate	(1) 16d Common	4" o.c.
Stud to Top Plate / Bottom Plate (Toe Nailed)	(3) 16d Common	Per Stud
Sheathing Blocking (Toe Nailed)	(2) 8d Common	Each end
Wall Sheathing (Unless Noted Otherwise)	(1) 8d Common	4" Edge/ 12" Field
Roof Sheathing (Unless Noted Otherwise)	(1) 8d Common	4" Edge/ 6" Field

* HORIZONTAL RAFTER SPAN SHALL NOT EXCEED THE SPECIFIED RAFTER SPAN FOR WIND LOADING. RAFTERS SHALL BE BRACED TO A LOAD BEARING WALL OR MIN. 2-2x12 BEAM AND ANCHORED TO RESIST 400# PER RAFTER BRACE

Proprietary Products

- All manufactured products such as windows, doors, stone veneers, skylights, anchor bolts, roof coverings clips, straps etc. shall be installed per the manufacturers directions to resist the design wind pressure.

Doors, Garage Doors and Windows

- All door and windows shall have a minimum design pressure of 50 psf unless noted otherwise.
- All windows and glass doors shall meet the requirements of Section 613 of the 2006 International Residential Code.
- All windows and glass doors shall have a label identifying the manufacturer, performance rating, and approved inspection agency(AAMA, NAMI, WDMA, or Keystone), and the design pressures by an approved testing agency.
- All windows and doors shall be installed per the manufacturer's installation instructions to resist the design wind pressure.
- A product evaluation is required for all products.
- Garage doors shall have the product evaluation and shop drawings attached to the door.
- Garage doors shall be labeled to indicate the manufacturer and model number and design pressure rating.

Anchor Bolts

- $\frac{5}{8}$ "x10" minimum with a 7" embedment and a 2"x2"x $\frac{1}{8}$ " washer.
- Space bolts 6" from the edge of plate and 32" for exterior walls.
- $\frac{5}{8}$ " dia. anchor bolts shall be spaced a maximum of 5' o.c. for interior shearwalls.
- All retrofit anchor bolts shall have a minimum pull out capacity of 1,300 lbs.

Holdowns

- Holdowns shall be installed at all inside and outside corners, door openings and interior shearwalls as shown on the Windstorm Template.
- Holdowns from the second floor shall have a continuous load path to the foundation.
- The capacity of the holdowns shall be as indicated per table.
- The capacity of the anchor bolts used for the holdowns shall be equal to or greater than the capacity of the holdown.

Framing

- See table for framing fasteners.
- All fasteners to be corrosion resistant per "Texas Revisions".
- A minimum of two full length studs shall be required for all holdowns. Studs shall not be notched or cut.
- Double studs for holdowns shall be nailed together with 2 rows of 16d nails 6" o.c.
- Any load bearing wall stud greater than 12' shall be framed with a minimum of 2x6's spaced 16" o.c.
- Balloon framing shall be used on all gable endwalls that support rooms that have non-flat ceilings such as coffer, cathedral or vaulted.
- Balloon framing shall be a minimum of 2x6's.
- Box out windows shall be fully sheathed and anchored.
- A band or rim joist shall be provided between the first and second floor plates
- Offset floors shall have a min 2x band joist and be blocked along the first floor plate line.
- Wall studs shall be spaced a maximum of 16" o.c.
- Porch post shall be spaced a maximum of 12' o.c.
- Porch post beams shall be a minimum of (2) SYP #2 2x12's
- Porch post shall be a minimum of 4x4 #2 SYP. Decorative or cedar post are not allowed.
- Unsupported overhangs shall not exceed 24".
- Lookouts shall be spaced a maximum of 36".

Gable End Walls

- Strong backs shall be spaced at 4' o.c., 8' in length and nailed to gable studs. (see detail)
- Nail strong backs to ceiling joist with (2) 16d nails per joist.

Rafter Bracing and Spicing

- Over spanned rafters must be braced on every third rafter.
- Two rafters may be lapped together to increase the rafter length. Lap shall be a minimum of 4 feet in length. Laps shall be nailed with 3 rows of 7 nails 21 total (3-7-21). The rafter shall be braced directly under the lap joint.
- A minimum of a 2x4 purlin shall run the length of the rafter bracing.
- Rafters shall be braced to interior walls or a min (2) 2x12 beam anchored at each end with two Simpson H8 clips (4 total). The load shall be continuous to the foundation.
- Rafter braces shall be clipped or nailed in shear to rafters with 5 framing nails.

Straps and Clips

- See table for required framing anchors at specific locations.
- All clips and straps shall be installed with the correct nail as required by the manufacturer.
- All straps and clips shall form a continuous load path to the foundation.
- Every rafter and stud shall be clipped.
- For two story structures, the walls of each story shall be strapped together to form a continuous load path 16" o.c. with a min. of 5 nails in each end of the strap.
- Headers shall be strapped a min. of 16" o.c.
- Openings larger than 6' shall have a min. of (2) trimmer studs and each shall be clipped.
- Gable studs shall be clipped or strapped at each end.
- Ceiling joist which extend beyond the exterior wall shall be clipped.
- Porch post shall be strapped with (4) straps (2 on each side)
- Ridge straps shall be provided over ridges and hips with (5) nails per side. Opposing rafters may be anchored to the hip rafter.

Shear Walls

- All exterior walls and gable ends shall be fully sheathed.
- Sheathing shall be a minimum thickness of $\frac{7}{16}$ ' rated Plywood or OSB unless noted otherwise.
- Shearwalls shall be continuous from the bottom plate to the roof deck.
- Sheathing shall be nailed 4" o.c. at the edge and 12" o.c. in the field, unless noted otherwise.
- All joints shall be blocked and nailed 4" o.c.
- Sheathing fasteners shall be corrosion resistant and a minimum of 8d common nails (2 $\frac{1}{2}$ "x .131)
- Interior shearwalls shall be installed as noted on plan.
- Interior shearwalls shall be nailed 4" o.c. at the edge of sheet and 12" o.c. in the field.
- Shear transfer from the second floor to the first shall be as shown on detail drawing.
- Interior shearwalls shall be fastened to a strut (ceiling joist, floor joist or blocking) with a Simpson LTP4 or equal 12" o.c.
- Special returns shall be designed as per detail and located where indicated on plan.

Collar Ties

- Collar ties shall be provided for every other set of rafters located in upper third fastened with 4 nails at each end.

Sheetrock

- Exterior walls shall be nailed with 7" o.c. with 5d cooler nails. Panel edges shall be blocked. A minimum of $\frac{1}{2}$ " sheetrock is required.

Roof Deck Sheathing

- A minimum of $\frac{7}{16}$ " APA rated sheathing is required.
- WARNING: Metal and Clay or Concrete roofing requires plywood (see product evaluation.)
- Sheathing shall be nailed 4" o.c. at edge of sheet and 6" o.c. in the field.
- Nails shall be a minimum of 2 $\frac{1}{2}$ " x.131
- Nail all barge rafters 4" o.c.

Roof Coverings

- Roof slopes greater than 4:12 pitch shall have one layer of felt fastened with corrosion resistant fasteners spaced a max. of 36" o.c.
- Roof slopes 2:12 to 4:12 shall have felt half lapped (two layers of felt) with corrosion resistant fasteners spaced a max. of 36" o.c.

Roof Shingles

- Composition shingle roof coverings shall meet ASTM D 3161 Class F and ASTM D 7158 Class H. Shingle wrappers shall bear a label indicating compliance.
- Shingles must be manufactured at an approved plant. See TDI website for approved list.
- Shingles shall be installed per package directions.
- Nails shall not be overdriven or crooked.

Roof Vents and Skylights

- Roof vents must be installed per the manufacturer's product evaluation and meet the minimum design wind pressures.
- Skylights must be installed per product evaluation and meet the minimum design wind pressures. Skylights must be impact resistant unless located in 110 MPH wind zone.

Chimneys

- The entire chimney shall be sheathed with a minimum of $\frac{7}{16}$ " plywood or OSB.

Dormers

- Rafters supporting dormers shall be doubled.
- Dormer studs shall be anchored to double rafters.

Brick Ties

- Brick ties shall be fastened 16" o.c. along each stud with (1) 8d galvanized nail.
- Brick ties shall be fastened 6" o.c. around window and door openings where windborne debris protection is to be fastened to brick.

Mechanical Air Conditioning Units

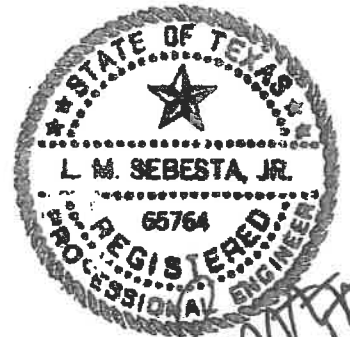
- Mechanical units shall be anchored to concrete pads of 90 lbs or more with a minimum of 4 power actuated fasteners.

Windborn Debris Protection

- All structures located in 120 MPH areas or greater shall have windborne debris protection for all glazed openings per the TDI Texas Revisions to the 2006 International Residential Code.
- The testing requirements of ASTM E1886 and 1996 shall be required or meet the wood structural panel application specified in the TDI Texas Revisions to the 2006 International Residential Code.
- windborne debris protection shall be on site and ready for installation at the time of the final inspection.
- For structures located in the 120 mph areas, exterior doors with glass or garage doors with glass shall either be protected from windborne debris or impact resistant. For structures located in the 130 mph area, all exterior doors and garage doors shall either be protected from windborne debris or impact resistant.

Exterior Coverings

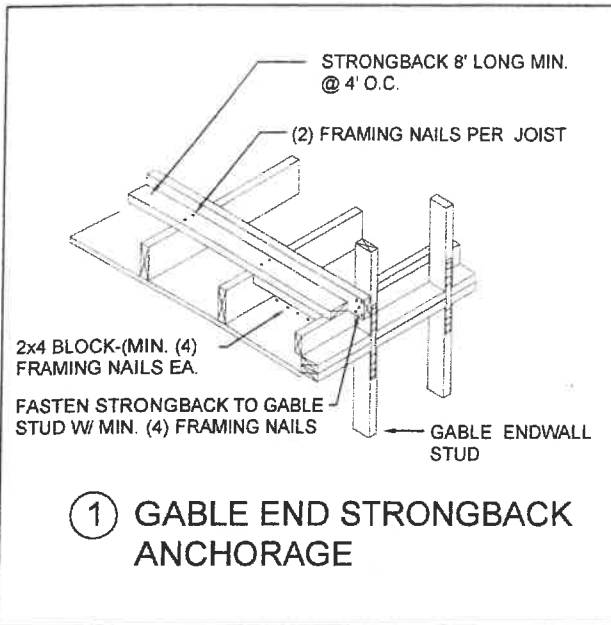
- Exterior coverings such as Stucco, Vinyl Siding, Synthetic Stone, Metal roofing and Lap and Panel Siding must be installed per product evaluation and must meet the minimum design wind pressures.



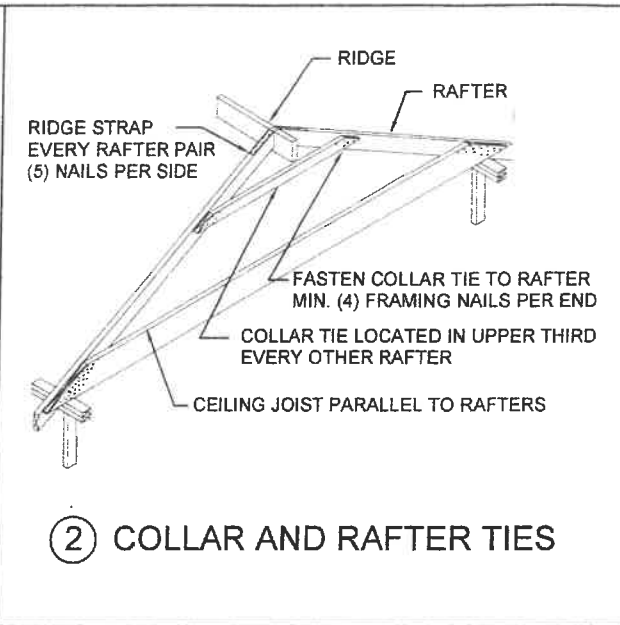
CEDNA
ENGINEERING

209 East Henderson Road
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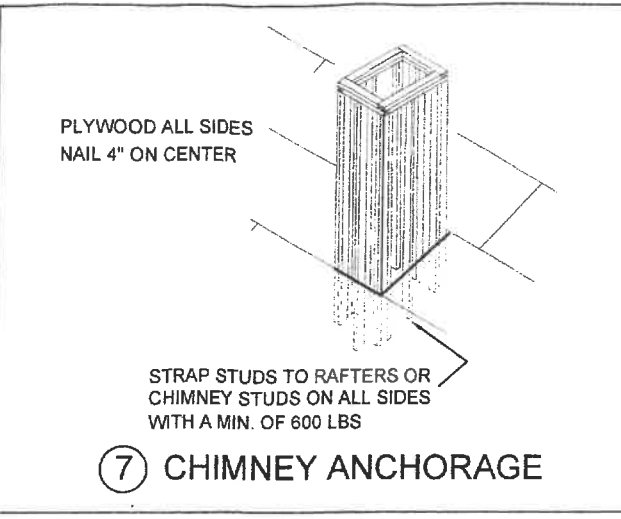
WINDSTORM STANDARD



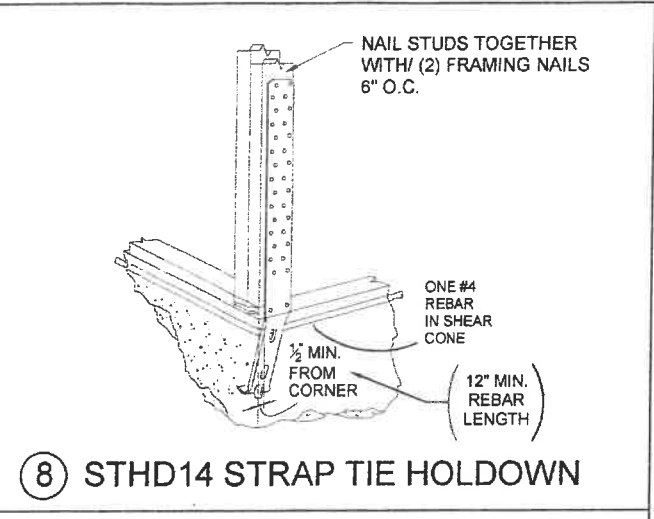
① GABLE END STRONGBACK ANCHORAGE



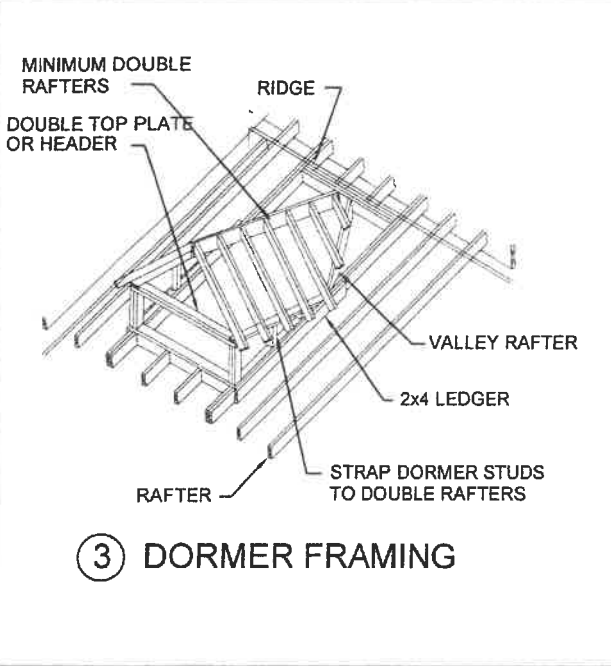
② COLLAR AND RAFTER TIES



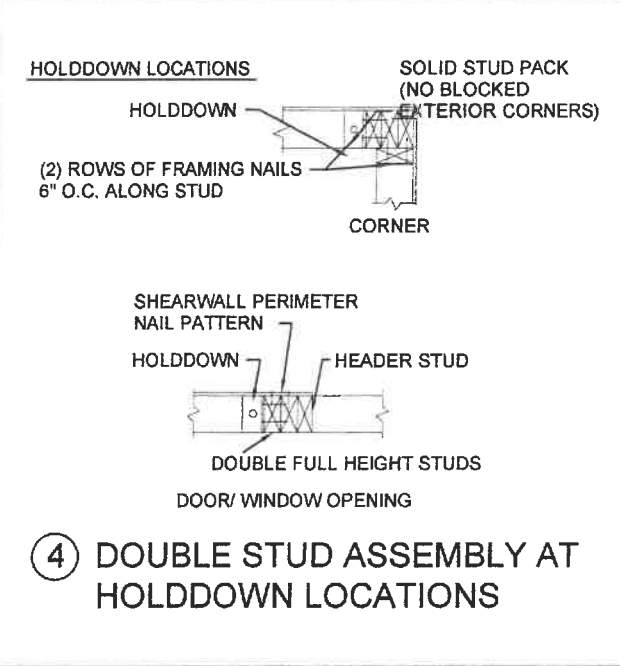
⑦ CHIMNEY ANCHORAGE



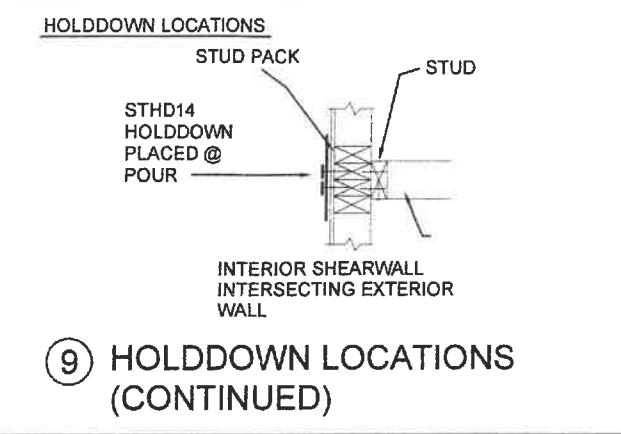
⑧ STHD14 STRAP TIE HOLDDOWN



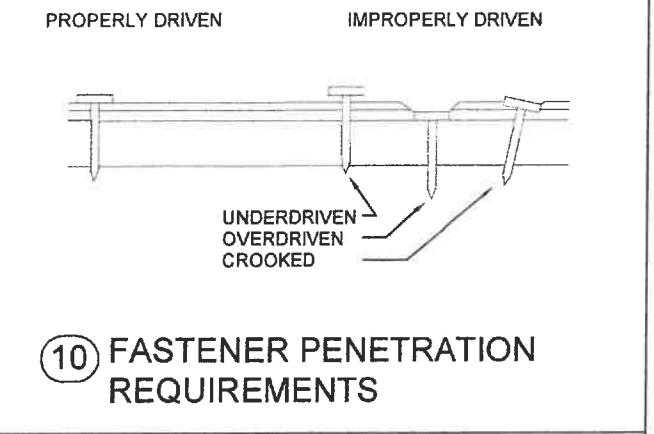
③ DORMER FRAMING



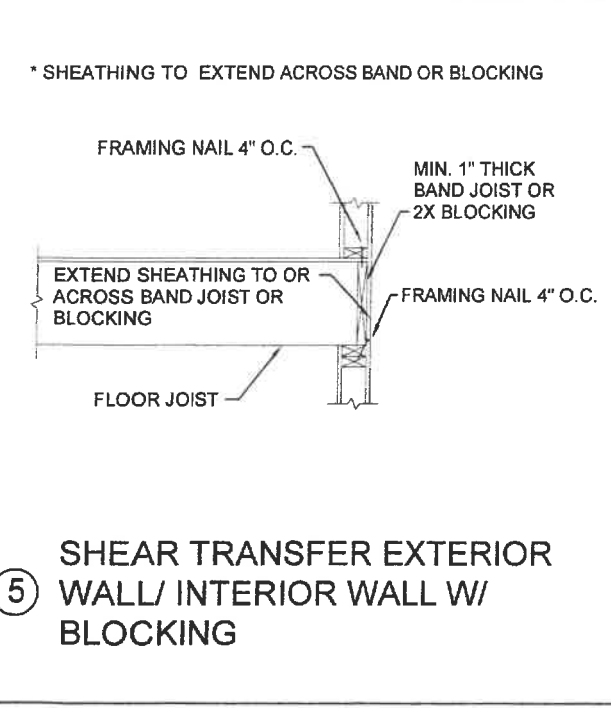
④ DOUBLE STUD ASSEMBLY AT HOLDDOWN LOCATIONS



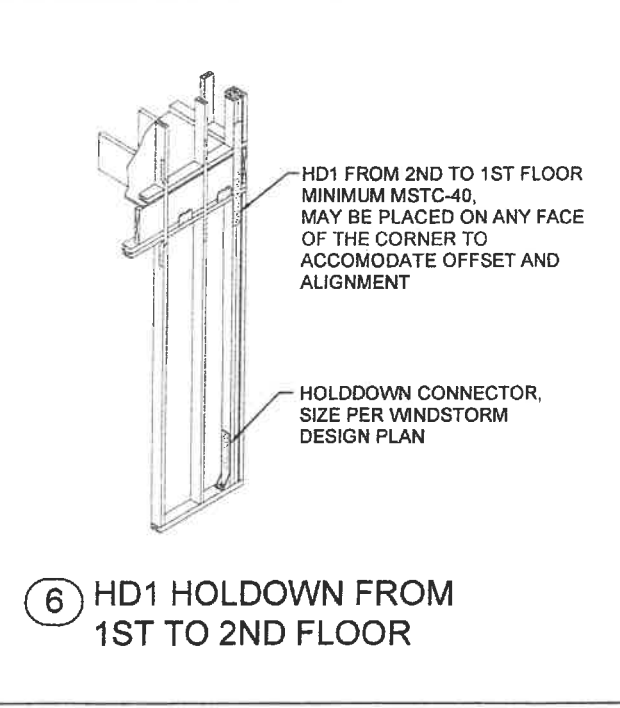
⑨ HOLDDOWN LOCATIONS (CONTINUED)



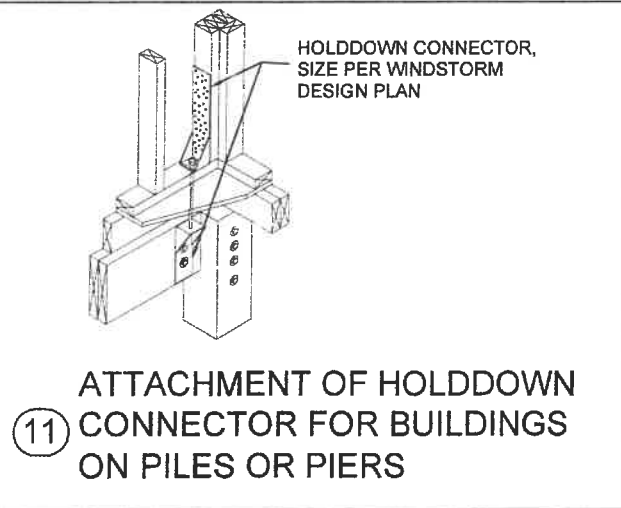
⑩ FASTENER PENETRATION REQUIREMENTS



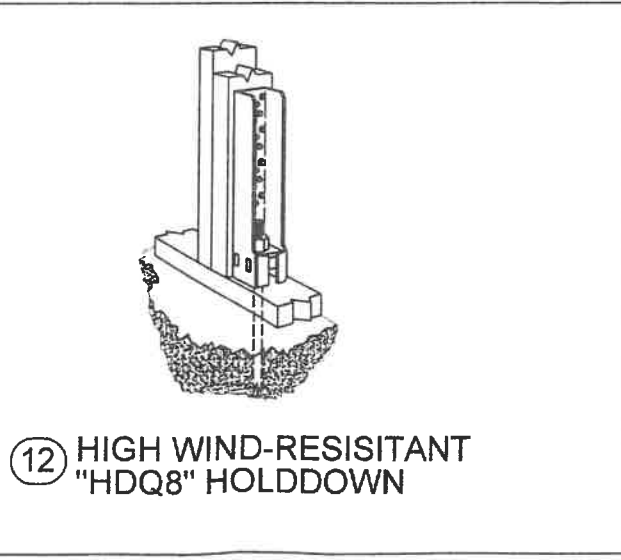
⑤ SHEAR TRANSFER EXTERIOR WALL/ INTERIOR WALL W/ BLOCKING



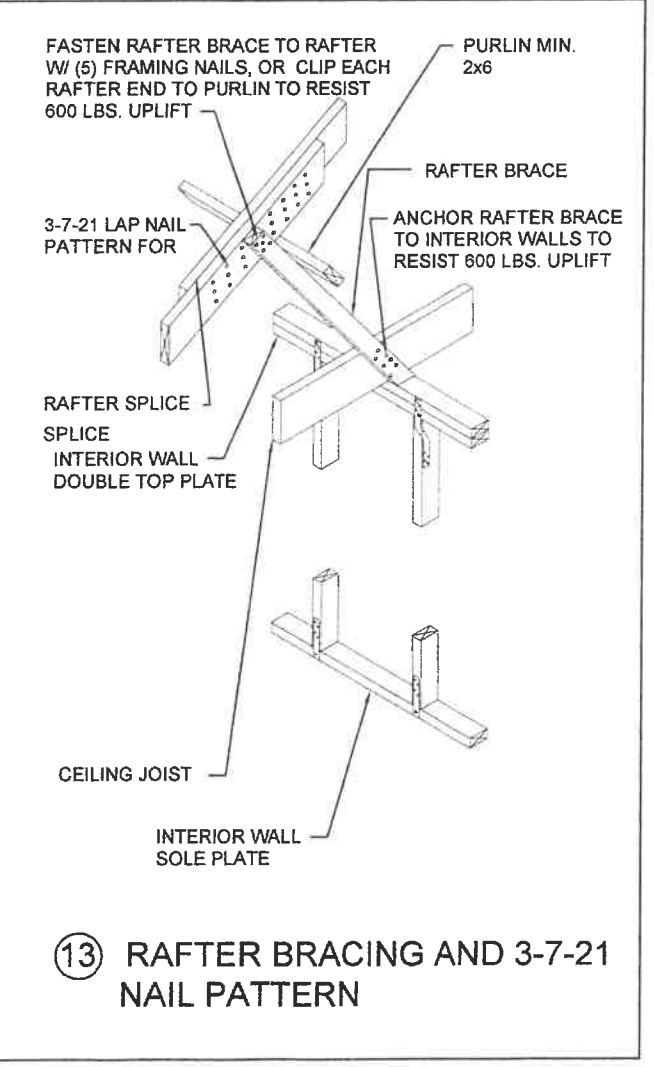
⑥ HD1 HOLDDOWN FROM 1ST TO 2ND FLOOR



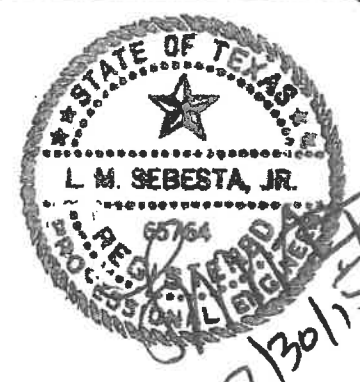
⑪ ATTACHMENT OF HOLDDOWN CONNECTOR FOR BUILDINGS ON PILES OR PIERS



⑫ HIGH WIND-RESISTANT "HDQ8" HOLDDOWN



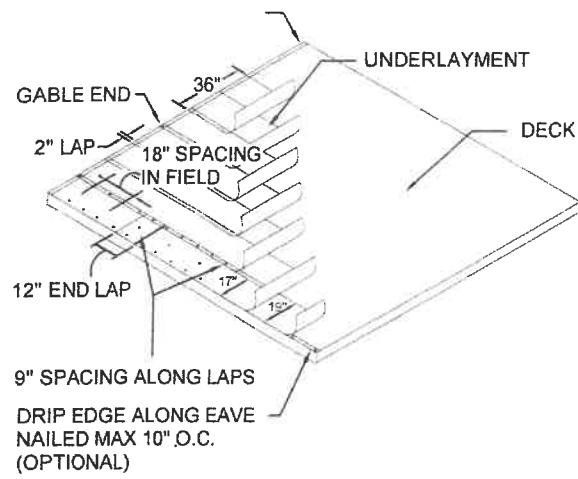
⑬ RAFTER BRACING AND 3-7-21 NAIL PATTERN



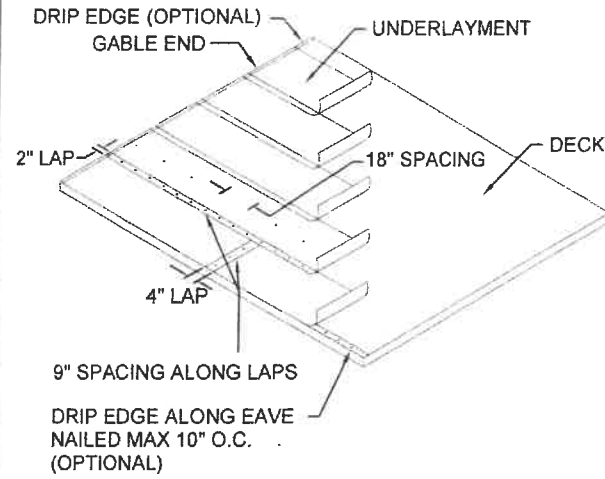
CEDNA ENGINEERING

209 East Henderson Road
Angleton, Texas 77515
979-864-3442
Texas Registration # F-10683

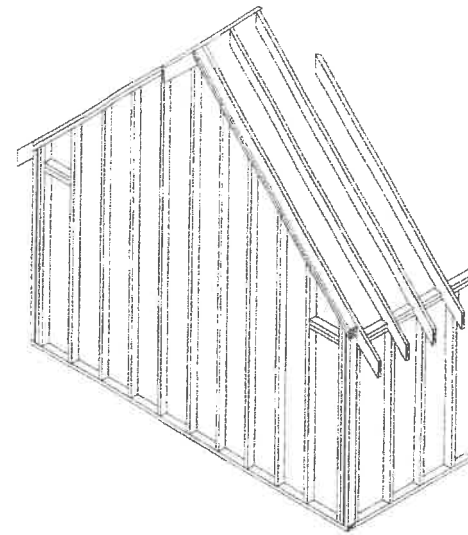
WINDSTORM STANDARD



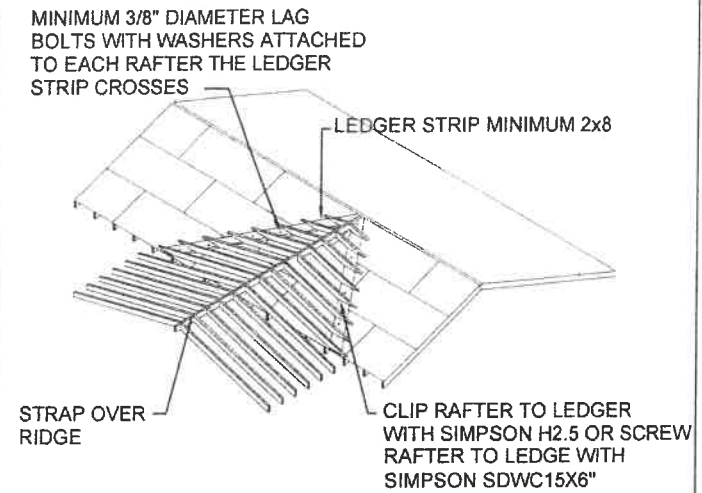
14 UNDERLAYMENT



15 UNDERLAYMENT



16 BALLOON FRAMING AT GABLE ENDWALL



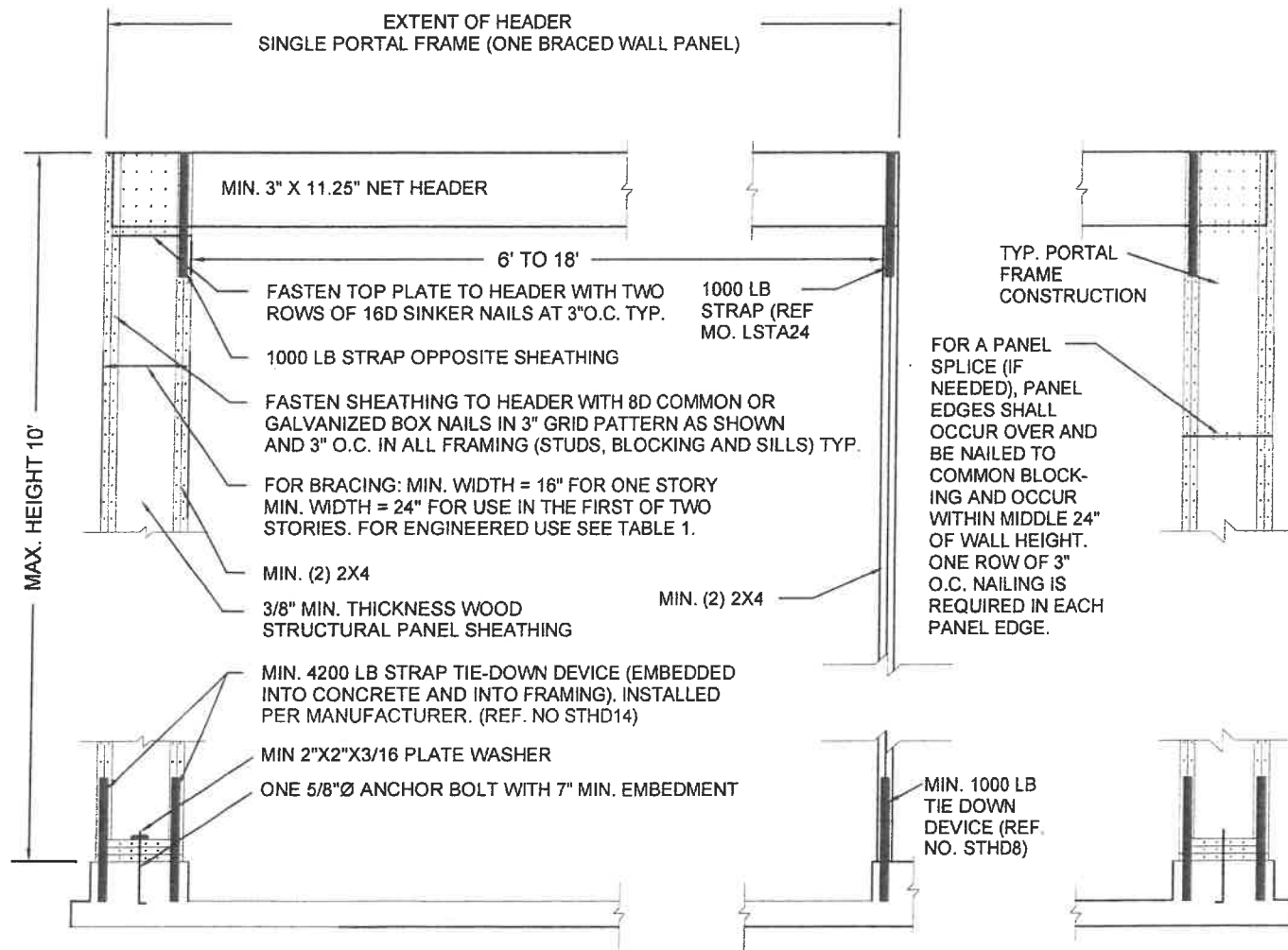
17 FRAMING NEW ROOF ADDITION TO EXISTING STRUCTURE



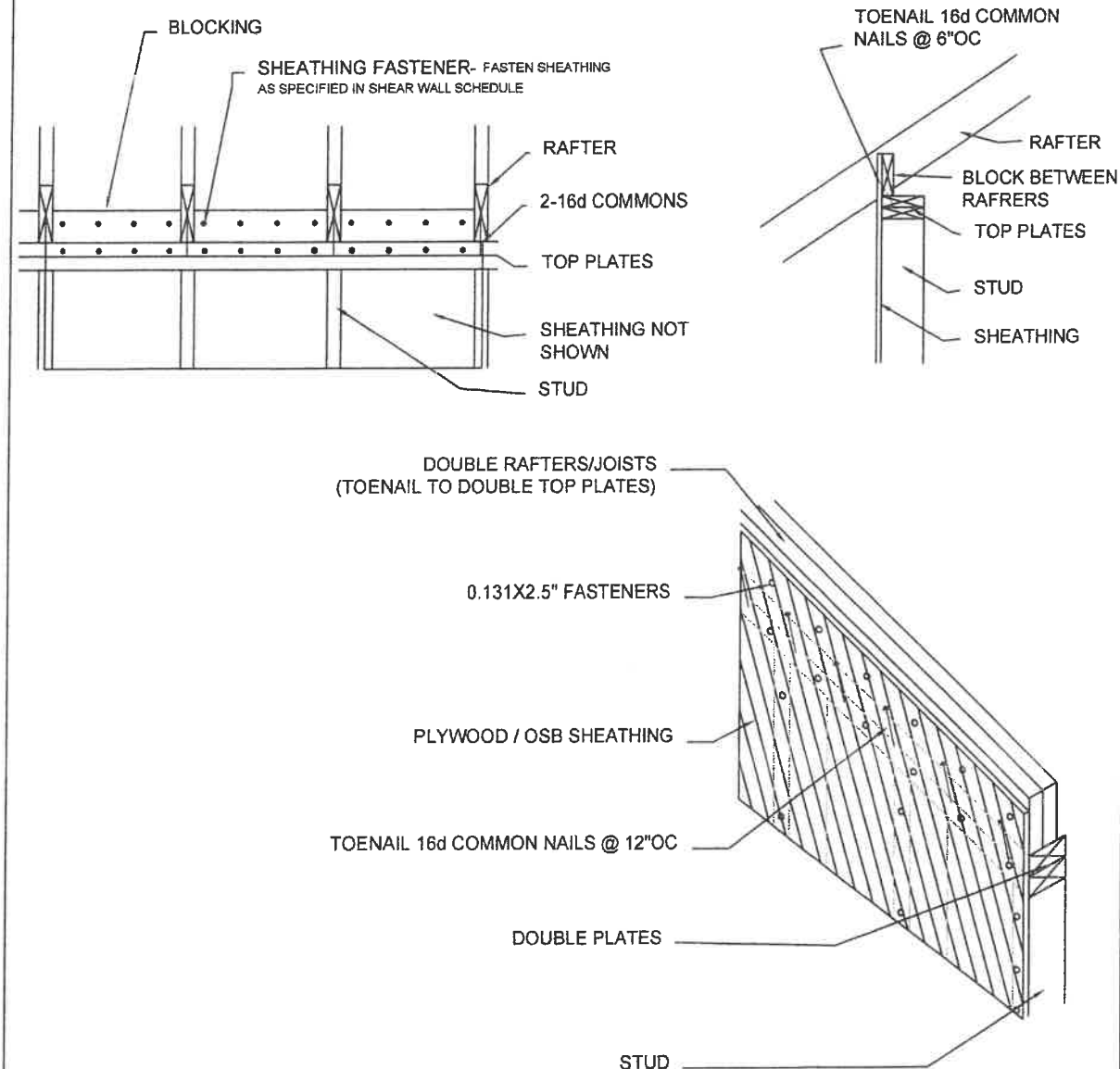
Handwritten signature and date: 07/20/14

CEDNA
ENGINEERING

209 East Henderson Road
Angleton, Texas 77515
979-864-3442
Texas Registration # F-10683



18 APA PORTAL FRAME



19 ROOF/EXTENDED SHEARWALL CONNECTION DETAIL

WINDSTORM STANDARD



**CITY OF ANGLETON, TEXAS
AGENDA ITEM SUMMARY FORM**

MEETING DATE: 10/21/2020

ITEM #2

PREPARED BY: Walter E. Reeves Jr., AICP Development Services Director

AGENDA ITEM TITLE: Hold a public hearing, discussion and possible action on a request from Frank Grissett and Bobbi Allen for a variance to construct a carport into the required 25 ft. front yard setback on Lot 26, Block 5, Northridge 2. The subject property is located on the southwest corner of the intersection of Browning Street and N. Rock Island Street, is in the Single Family Residential 7.2 (SF-7.2) zoning district and is more commonly known as 744 Browning Street

AGENDA ITEM SECTION: (choose one below)

Ceremonial Presentation

Consent Agenda

Regular Agenda

Public Hearing

Executive Session

BUDGETED AMOUNT:

N/A

FUNDS REQUESTED:

N/A

FUND:

N/A

EXECUTIVE SUMMARY:

Frank Grissett and Bobbi Allen are seeking a variance to construct a carport into the required 25 ft. front yard setback on Lot 26, Block 5, Northridge 2 more commonly known as 744 Browning Street.

ATTACHMENTS (Attachment description):

1. Staff Report
2. Location Map
3. Application
4. Pictures

RECOMMENDATION:

Staff recommends approval of the variance to allow construction of a carport in the front yard setback of Lot 26, Block 5, Northridge 2 as the criteria of Section 28-23(f) are met.



**BOARD OF ADJUSTMENT (BOA)
STAFF REPORT**

MEETING: Board of Adjustment (BOA)
DATE: October 21, 2020
STAFF CONTACT: Walter E. Reeves, Jr., AICP
DEPARTMENT: Development Services
SUBJECT: Hold a public hearing, discussion and possible action on a request from Frank Grissett and Bobbi Allen for a variance to construct a carport into the required 25 ft. front yard setback on Lot 26, Block 5, Northridge 2. The subject property is located on the southwest corner of the intersection of Browning Street and N. Rock Island Street, is in the Single Family Residential 7.2 (SF-7.2) zoning district and is more commonly known as 744 Browning Street (Attachment 1).

BACKGROUND INFORMATION

The property owner has submitted a request (Attachment 2) for a variance to the 25 ft. front yard setback requirement of the Single Family Residential 7.2 zoning district in order to construction a 24' X 27.5' carport to the front of the existing residence located on Lot 26, Block 5, Northridge 2 and more commonly known as 744 Browning Street.

Pursuant to Chapter 28, Section 28-23(h)(3) of the Code of Ordinances of the City of Angleton (Code), notice was published in the October 3-4 edition of the "Facts," and mailed to all property owners within two-hundred feet of the subject property on October 5, 2020.

Pursuant to Section 28-23(h)(4): The board of adjustment shall not grant a variance unless it finds, based upon compelling evidence provided by the applicant, that each of the conditions of subsection (f) have been satisfied..."

Pursuant to Section 28-23(f)(2): No variance shall be granted without first having given public notice and having held a public hearing on the variance request in accordance with subsection (h) of this section and unless the board of adjustment finds:

- a. That there are special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his/her land;**

As can be seen from the application materials, the subject property is an irregularly shaped lot in the subdivision. Based on the location of the house, which appears to be at or just behind the front setback line, any carport addition to the house would encroach into setback. There are special circumstances or conditions affecting the land such that strict application of the provisions would deprive the applicant of the reasonable use of the land.

- b. That the variance is necessary for the preservation and enjoyment of a substantial property right of the applicant;**

Due to the location of the house and the irregular shape of the property, the addition of the carport to the front of the house requires a variance of the front yard setback. The variance is necessary for the preservation and enjoyment of a substantial property right.

- c. That the granting of the variance will not be detrimental to the public health, safety or welfare, or injurious to other property within the area;**

It is hard to imagine how the granting of the variance will be detrimental to the public health, safety or welfare as the proposed carport will be 2.5 ft. from the property line and approximately 22 ft. from the N. Rock Island Street pavement. It is also hard to imagine how the granting of the variance will be injurious to other property within the area.

- d. That the granting of the variance will not have the effect of preventing the orderly use of the other land within the area in accordance with the provisions of this chapter; and**

Again, it is hard to imagine how the proposed carport would prevent the orderly use of other land within the area.

- e. That a finding of undue hardship exists.**

An undue hardship exists pursuant to Section 28-23(f)(3).

Pursuant to Section 28-23(f)(3): In order to grant a variance, the board of adjustment must make written findings that an undue hardship exists using the following criteria:

- a. That literal enforcement of the controls will create an unnecessary hardship in the development of the affected property;**

While the carport could be located to the east side (left side if facing the house) of the house, that would entail expanding the driveway in a fashion where most of that side of the house would be paved. Paving reduces the green space on the lot and would require the property owners to find a workable driveway design to provide access which would be an undue hardship given the odd shape of the lot and the existing location of the house.

- b. That the situation causing the hardship or difficulty is neither financial in nature, self-imposed nor generally affecting all or most properties in same zoning district;**

Situation causing the hardship is the irregular shape of the lot and the location of the existing house. The hardship is not financial, self-imposed nor generally affecting all or most properties in the same zoning district.

- c. That the relief sought will not injure the permitted use of adjacent conforming property; and**

The relief sought will not injure the permitted use of adjacent conforming property.

- d. That the granting of a variance will be in harmony with the spirit and purpose of these regulations.**

Granting of a variance will be in harmony with the spirit and purpose of these regulations.

Pursuant to Section 28-23(f)(4); A variance shall not be granted to relieve a self-created or personal hardship, nor shall it be based solely upon economic gain or loss, nor shall it permit any person the privilege in developing a parcel of land not permitted by this chapter to other parcels of land in the particular zoning district. No variance may be granted which results in undue hardship upon another parcel of land.

Staff Recommendation: Staff recommends approval of the variance to allow construction of a carport in the front yard setback of Lot 26, Block 5, Northridge 2 as the criteria of Section 28-23(f) are met.

Suggested Motion: I move we find that the criteria of Section 28-23(f) of the Code of Ordinances of the City of Angleton are met and grant a variance to allow construction of a carport in the front yard setback on Lot 26, Block 5, Northridge 2 as presented.

ATTACHMENTS

1. Location Map
2. Application
3. Pictures



BOARD OF ADJUSTMENT APPLICATION FOR VARIANC

TRAN: 400.0000 CITY SECRETARY-MISEL MISCELLANEOUS 150.00CR TENDERED: 150.00 CHECK APPLIED: 150.00-

CHAV

Applicant: Bobbi ALLEN Phone: N/A Cell: 979-248-2553

Address: 744 Browning Street

City: Angleton State: TEXAS Zip: 77515

Applicant's Status: (check one) [X] Owner [] Representative [] Tenant

Property owner: Frank Gressett; Bobbi ALLEN Phone: N/A Cell: 979-248-2553

Address: 744 Browning Street

City: Angleton State: TEXAS Zip: 77515

Bobbi Allen Applicant Signature Date 9-24-20 Frank Gressett; Bobbi Allen Owner Signature Date 9-24-20

Property Information:

This application must be accompanied by a site plan and any other documents requested, such as plot plans, photographs, topographic contour maps that are necessary to properly review the application.

Street address or location: 744 Browning Street

Legal Description: Northridge 2 (Angleton) Blk 5 Lot 26 (please provide copy of metes and bounds)

Present zoning: SF-7.2 Present land use: Residential

Is a site plan, preliminary or final plat pending on the agenda of the Planning & Zoning Commission or the City Council? Yes No [X]

Have you applied for a building permit? Yes No [X] Date denied:

Has the Board of Adjustments issued an unfavorable ruling on this property within the last six months? Yes No [X]

If yes, when:

Please provide proof of taxes paid on this property.

Request Information:

Please answer the following questions as completely as possible. Failure to outline fully the situation by answering these questions could cause unnecessary delay in evaluating your appeal. Additional pages may be attached if necessary.

1. Describe the variance you are requesting: SEE attachment

2. Describe the special or unique condition(s) of your property that exist, such as restricted area, shape, topography or physical features that are peculiar to your property: SEE attachment

3. Do similar property conditions exist in your area? Explain: NO, not that I know of.

4. Explain how your need for a variance is unique to those special property-related conditions described above: SEE attachment

5. Are there special conditions affecting your property such that the strict application of the provisions of the Zoning Ordinance would deprive you of the reasonable use of your land? Explain: SEE attachment

6. Explain why the granting of the variance will not be detrimental to the public health, safety or welfare, or injurious to other property within the area: SEE attachment

7. Describe how strict enforcement of the zoning ordinance creates a hardship that is unique to your property, imposing a hardship above that suffered by the general public: SEE attachment.

A completed variance application is due 30 days prior to the next Board of Adjustment meeting. Board of Adjustment meetings are held at noon on the third Wednesday of each month. At this meeting, a public hearing will be held. A public hearing notice must be published in the local newspaper (at least 14 days before the meeting) and a notice must be sent to all property owners within 200' of the property where the variance is being requested (the notice must be sent at least 10 days prior to the meeting).

Acknowledgements

I certify that the above information is correct and complete to the best of my knowledge and ability and that I am now or will be fully prepared to present the above proposal at the Board of Adjustments hearing.

I understand that in the event that I am not present or represented at the public hearing, the Board shall have the power to dismiss the proposal either at the call of the case or after the hearing, and that such dismissal shall constitute denial.

I reserve the right to withdraw this proposal at any time upon written request filed with the City Secretary's office, and such withdraw shall immediately stop all proceedings. I understand the filing fee is not refundable upon withdraw of the proposal after public notice.

I understand that if the request is approved, I must obtain a building permit from the City before any work is started on the property and that the Board of Adjustment action does not constitute the approval of the building permit.

Applicant's Initials: BA Date: 9-24-20

Office use only

Date received: _____ Received by: _____

Fee of \$150.00 received: _____

Proof of taxes paid: _____ date verified: _____

Appointment of agent form attached if required: _____

BOA Public Hearing date: _____

Date to send letters to residents: _____

Letters Mailed: _____

Date to publish: _____ Date published: _____

Board of Adjustment
Application For Variance

P.1

Request Information Questions
For 744 Browning St., Angleton, TX 77515

- 1) The variance we are requesting is a waiver of 25ft. allowance for a permanent structure from your property to the road. Because one side of our drive way is 16ft short on the right side, If you are looking at the drive way from the street. So Mr. Renolds informed us.
- 2) The special and unique conditions of our property is the shape of it. Our property is triangular where most others are square.
- 3) No other similar properties are in our area, that I know of.
- 4) Our property is unique from other properties as we have a large curve and triangularly shaped. Where most properties are square. Which is why we are having a problem with putting up the carport. It is needed to protect our cars from the elements. There is no room in our garage for a car. We also have an 83 year old woman "my mother" who uses a walker and soon a wheel chair. Also other family and friends that are handicapped. Which the carport would protect her and others as well from the elements in getting out or in the cars and in or out of the house.
- 5) Yes the strict application of the zoning ordinance would deprive us of the reasonable use of our land. By not allowing us to put up a carport to protect our vehicles and loved ones. Because of the the shape of our property and that we are short 16ft. on only one side of our driveway in meeting the ordinance.

- 6) IN granting the VARIANCE it would not be detrimental to the public health. The carport would not be in the way of the side walk, water lines or the road if there were any work to be done. The carport also would not hinder any sight from the stop sign on the corner of Rock Island and Browning St. in any way. It's also not any where near any other property due to the shape of our lot.
- 7) The 25ft. allowance from a permanent structure to the road creates a hardship on us because we are 16ft. short on only one side of our driveway. Which is unique to our property because of the shape of our lot. That is not suffered by the general public. Most lots are square.



Site Plan
744 Browning

24' W

27 1/2' L

Sidewalk

Property line
to carport
2 1/2'

22.4'

Street N. Rock Island

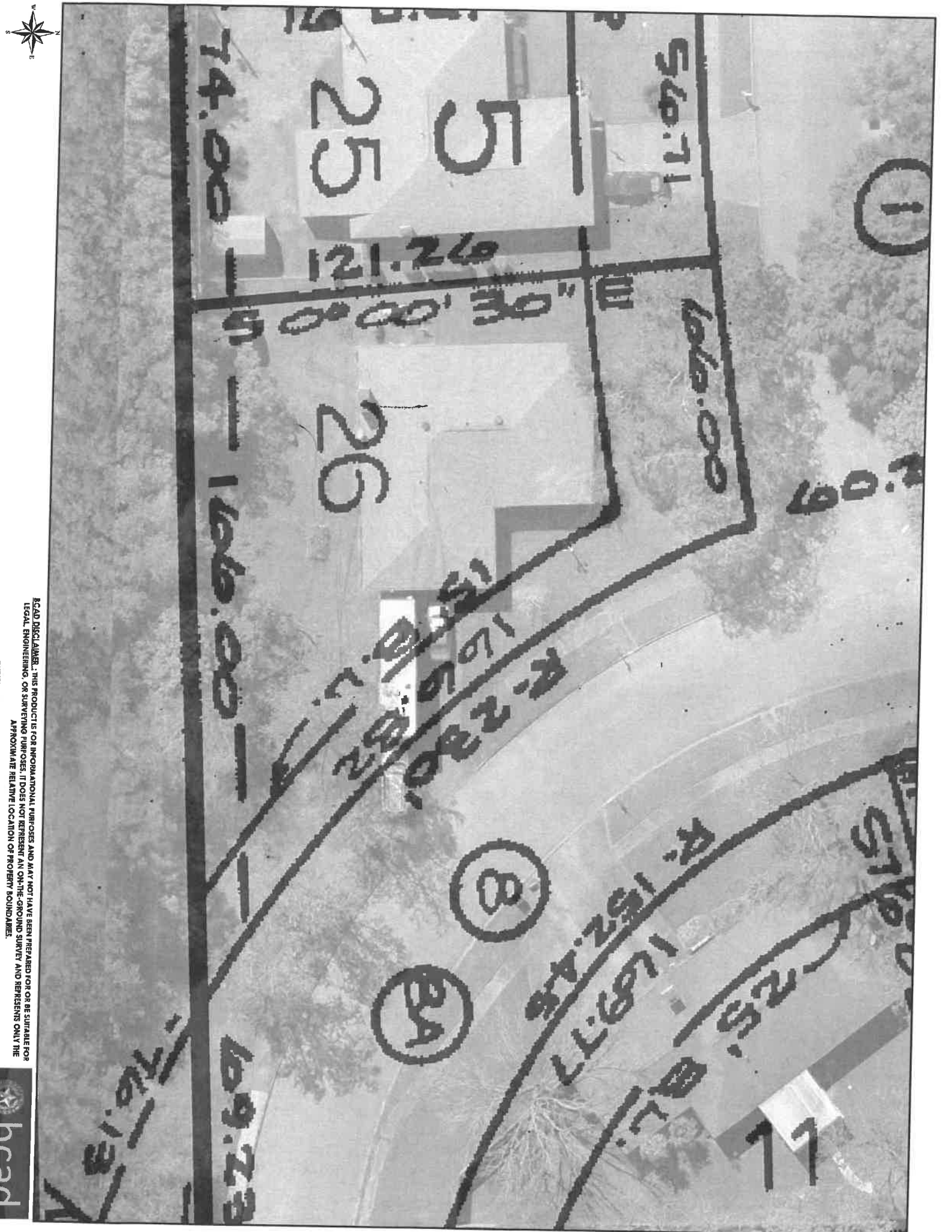
From
street
to edge
of
carport

do
Carport

DISCLAIMER: THIS PRODUCT IS FOR INFORMATIONAL PURPOSES AND MAY NOT HAVE BEEN PREPARED FOR OR BE SUITABLE FOR
LEGAL ENGINEERING, OR SURVEYING PURPOSES. IT DOES NOT REPRESENT AN ON-THE-GROUND SURVEY AND REPRESENTS ONLY THE
APPROXIMATE RELATIVE LOCATION OF PROPERTY BOUNDARIES.

QUESTIONS: CONTACT JOSHUA ASHBURN - GIS SUPERVISOR - BCAD - jashburn@broadacad.com





LEGAL DISCLAIMER: THIS PRODUCT IS FOR INFORMATIONAL PURPOSES AND MAY NOT HAVE BEEN PREPARED FOR OR BE SUITABLE FOR LEGAL, ENGINEERING, OR SURVEYING PURPOSES. IT DOES NOT REPRESENT AN ON-THE-GROUND SURVEY AND REPRESENTS ONLY THE APPROXIMATE RELATIVE LOCATION OF PROPERTY BOUNDARIES.

QUESTIONS: CONTACT JOSHUA ASHQUIN - GIS SUPERVISOR - BCAD - jashquin@bcad.ca



DUPLICATE TAX RECEIPT



RO'VIN GARRETT, PCC
BRAZORIA COUNTY TAX ASSESSOR - COLLECTOR
111 E. LOCUST
ANGLETON, TEXAS 77515

Certified Owner:

GRESSETT FRANK & BOBBI ALLEN
744 BROWNING ST
ANGLETON, TX 77515

Legal Description:

NORTHRIDGE 2 (ANGLETON) BLK 5 LOT 26

Parcel Address: 744 BROWNING ST
Legal Acres: 0.3836

Remit Seq No: 42562783
Receipt Date: 01/02/2020
Deposit Date: 01/02/2020
Print Date: 09/22/2020 11:06 AM
Printed By: SHAYLNT

Deposit No: 1900100W
Validation No: 900000057045337
Account No: 6800-0202-000
Operator Code: TRAINEE

Table with 9 columns: Year, Tax Unit Name, Rec Type, Tax Value, Tax Rate, Levy Paid, P&I, Coll Fee Paid, Total. Rows include Brazoria County, Special Road & Bridge, Angleton Isd, Angleton - Danbury Hospital, Angleton Drainage Dist. No 1, City Of Angleton, and a total row.

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Check Number(s):
1569

PAYMENT TYPE:

Checks: \$2,864.80

Exemptions on this property:

OVER 65
HOMESTEAD

Total Applied: \$2,864.80

Change Paid: \$0.00

Account No: 6800-0202-000

PAYER:

GRESSETT FRANK & BOBBI ALLEN
744 BROWNING ST
ANGLETON, TX 77515

ACCOUNT PAID IN FULL

(979) 864-1320, (979) 388-1320, (281) 756-1320



Click location to place marker.

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40 ft
20 m







